



**RECORD OF FINAL DEVELOPMENT PLAN (FDP) APPROVAL
FINAL DEVELOPMENT PLAN 1 PHASE 12
TOWN OF SUPERIOR
COUNTY OF BOULDER
STATE OF COLORADO**

The Town of Superior has approved the Final Development Plan 1 Phase 12 for Superior Town Center, Superior Town Center Filing 1B Replat No. 6 (Case No. FDP-2023-01). This FDP was requested by RC Superior LLC, the property owner of record for Blocks 2, 5 & 8 of Superior Town Center Filing 1B Replat No. 7, and approved by the Town Board on June 3, 2024, Resolution No. R-8, Series 2024. Please see the signatures of approval on the Cover Sheet, attached.

Dated this 10th day of July 2024.

Lydia Yecke, Town Clerk



FINAL DEVELOPMENT PLAN 1 - PHASE 12

SUPERIOR TOWN CENTER

SUPERIOR, COLORADO

GATEWAY DRIVE

SUPERIOR TOWN CENTER FILING 1B REPLAT NO. 6



8308 COLORADO BLVD.
SUITE 200
FIRESTONE, CO 80504
303.833.1416
WWW.CIVILRESOURCES.COM



RC SUPERIOR
3080 VALLEY CENTER DRIVE
SUITE 705 PMB 381
SAN DIEGO, CA 92130

DOWNTOWN SUPERIOR
FINAL DEVELOPMENT PLAN 1 - PHASE 12

LEGAL DESCRIPTION

BLOCKS 2, 5 AND 8, SUPERIOR TOWN CENTER FILING 1B REPLAT NO. 6

BASIS OF BEARING: ASSUMING THE WEST LINE OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 19, T.15., R.69W, AS BEARING NORTH 01°14'50" WEST, BEING A GRID BEARING OF THE COLORADO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NORTH AMERICAN DATUM 1983 / 2011, A DISTANCE OF 1316.98 FEET WITH ALL OTHER BEARING CONTAINED HEREIN RELATIVE THERETO.

BENCHMARK: UDFCD DISK ON SOUTHEAST CORNER OF MCCASLIN BRIDGE OVER COAL CREEK, ELEVATION 5489.55 NAVD88 DATUM.

CERTIFICATE OF OWNERSHIP:

RC SUPERIOR, LLC, a Delaware limited liability company
By: Superior Town Center ASLI VII Holdings, LLC, a Delaware limited liability company, its sole Member
By: Avanti Strategic Land Investors VII, L.L.P., a Delaware limited liability limited partnership, its sole Member
By: Avanti Properties Group II, L.L.P., a Delaware limited liability limited partnership, its Managing General Partner
By: Avanti Management Corporation, a Florida corporation, its sole General Partner

By: _____
Name: Marvin Shapiro
Its: President

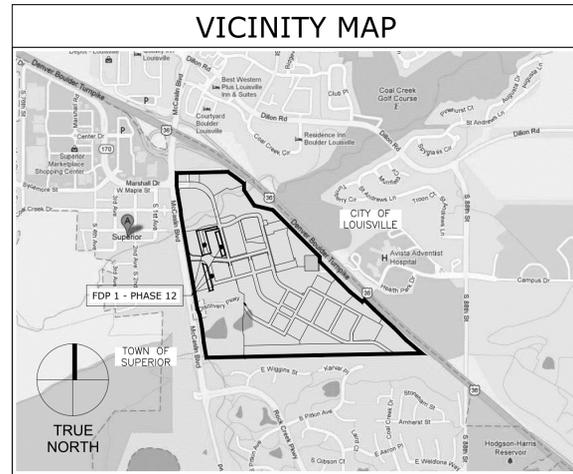
STATE OF FLORIDA)
) ss.
COUNTY OF ORANGE)

The foregoing instrument was acknowledged before me this ____ day of _____, 20____, by Marvin Shapiro as President of Avanti Management Corporation, a Florida Corporation, sole general partner of Avanti Properties Group II, L.L.P., a Delaware limited liability limited partnership, managing general partner of Avanti Strategic Land Investors VII, L.L.P., a Delaware limited liability limited partnership, sole member of Superior Town Center ASLI VII Holdings, LLC, a Delaware limited liability company, sole member of RC Superior, LLC, a Delaware limited liability company.

WITNESS my hand and official seal.

(Notarial Seal) _____
Notary Public

My commission expires: _____



SHEET INDEX		
SHEET	SHEET NUMBER	SHEET TITLE
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2 OF 18	C1.0	CONTEXT PLAN
3 OF 18	C2.0	SITE PLAN
4 OF 18	C3.0	DRAINAGE PLAN
5 OF 18	C4.0	UTILITY PLAN
6 OF 18	E.00	STREET LIGHTING PHOTOMETRICS
7 OF 18	L0.1	LANDSCAPE GENERAL NOTES + PROJECT AERIAL
8 OF 18	L1.0	LANDSCAPE MATERIALS SCHEDULE + NOTES
9 OF 18	L1.1	LANDSCAPE MATERIALS + LAYOUT PLAN
10 OF 18	L2.0	LANDSCAPE SITE DETAILS
11 OF 18	L3.0	LANDSCAPE PLANTING SCHEDULE + NOTES
12 OF 18	L3.1	LANDSCAPE PLANTING PLAN
13 OF 18	L4.0	PLANTING DETAILS
14 OF 18	L4.1	PLANTING DETAILS
15 OF 18	IR3.0	IRRIGATION NOTES & SCHEDULE
16 OF 18	IR3.1	IRRIGATION PLAN
17 OF 18	IR3.2	IRRIGATION DETAILS
18 OF 18	IR3.3	IRRIGATION DETAILS

BOARD OF TRUSTEES CERTIFICATE

Approved by the Board of Trustees of the Town of Superior, State of Colorado.
Witness my hand the corporate seal of the Town of Superior _____
day of _____, 20_____.

Attest: _____
Town Clerk Mayor

PLANNING COMMISSION CERTIFICATE

Recommended approval this _____ day of _____, 20____, by the
Town of Superior Planning Commission, Resolution No. PC _____ Series 20_____.

TOWN CLERK CERTIFICATE

I hereby certify that this instrument was approved by the Board of Trustees by
{Resolution/ Ordinance} No. _____, Series 20____, on this _____ day
of _____, 20____, and was filed in my office on the _____ day of
_____, 20____, at _____ o'clock _____ m.

Town Clerk

DEVELOPER
RC SUPERIOR
BILL JENCKS
3830 VALLEY CTR DR, SUITE 705 PMB
381 SAN DIEGO, CA 92130
619-578-8155
BBJENCKS@RANCHCAPITAL.COM

IRRIGATION DESIGN
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KEN DIPALO
PRESIDENT
860 TABOR STREET, SUITE 200
LAKEWOOD, COLORADO 80401
303-980-5327
KEND@HYDROSYSTEMSKDI.COM

LANDSCAPE ARCHITECT
DIG STUDIO
WILLISAM VITEK
1521 15TH STREET
DENVER, CO 80202
720-328-1986 X 104
BILL@DIGSTUDIO.COM

LIGHTING DESIGN
ALLIED ENGINEERS, INC
1726 CHAMPA STREET, SUITE 100
DENVER, CO 80202
BLTHE VOCT, P.E.
720-580-8516

CIVIL ENGINEER
CIVIL RESOURCES, LLC
JIM BRZOSTOWICZ, P.E.
8308 COLORADO BLVD, SUITE 200
FIRESTONE, CO 80504
303-833-1416 X 203
JIM@CIVILRESOURCES.COM

SURVEYOR
KING SURVEYING
PAUL GROVES
650 E. GARDEN DRIVE
WINDSOR, CO 80550
paulg@kingsurveying.com

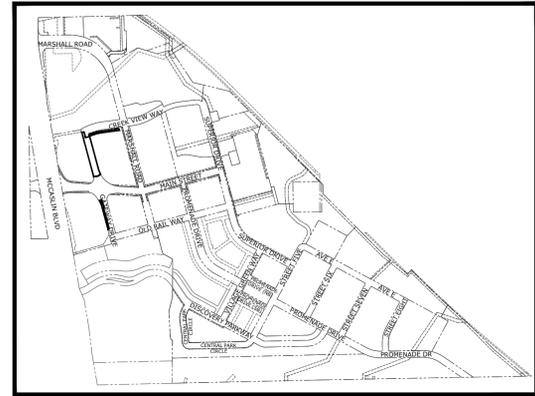
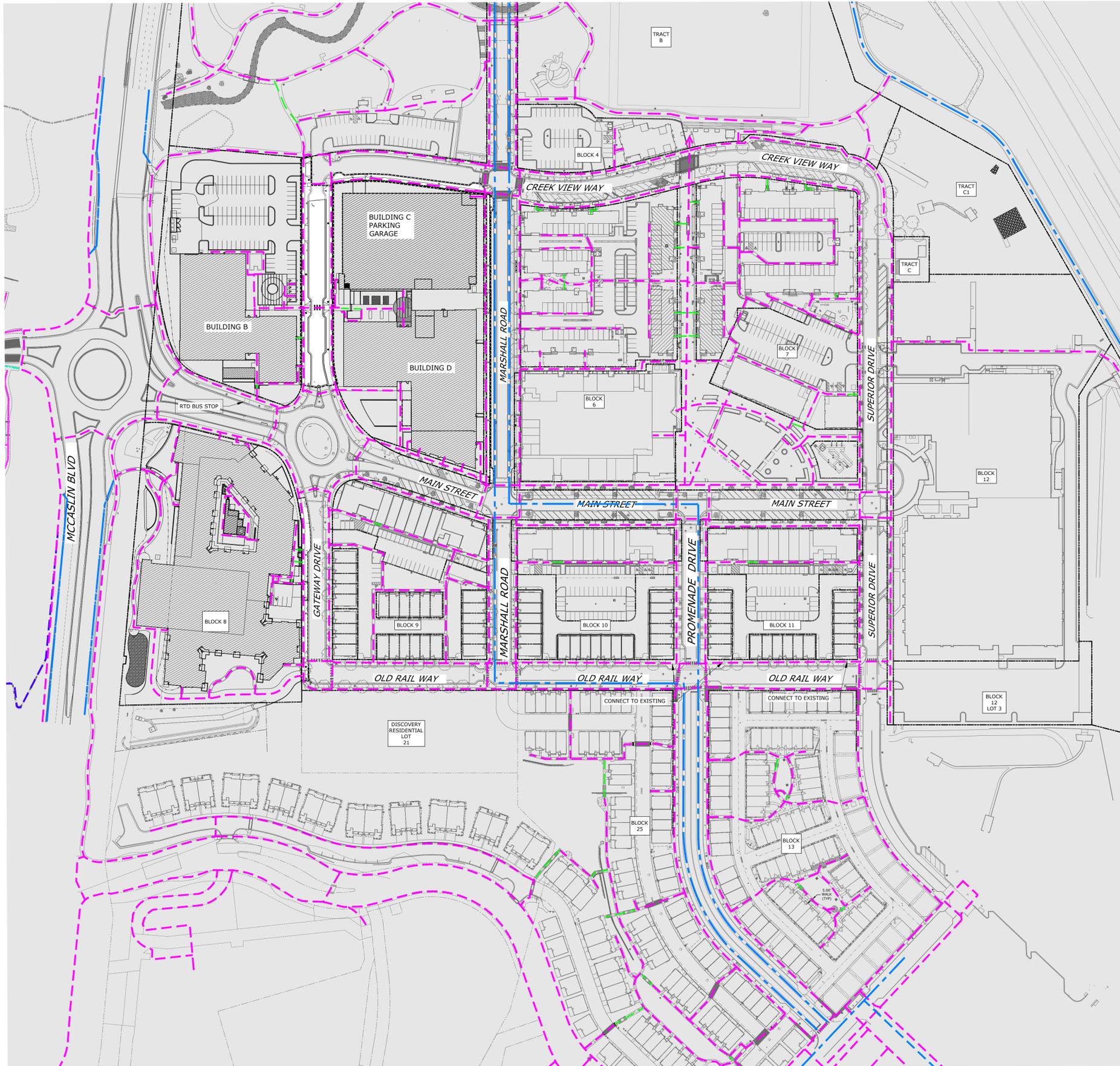
REVISIONS		
NO.	DESCRIPTION	DATE
1	RESPONSE TO STAFF COMMENTS	9/29/23
2	TECHNICAL CORRECTIONS	3/13/24
3	MYLAR PRINT	4/10/24

Vested Rights
This Plan constitutes a Site Specific Development Plan as defined in Section 24-68-101, et seq., C.R.S., and Chapter 16 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Coal Creek Drive, Superior, Colorado. The term and other conditions of these vested rights are further described in the development agreement dated March 11, 2013.

DESIGNED BY: CH DATE: 7/20/23
DRAWN BY: CH SCALE: AS NOTED
CHECKED BY: JB
JOB NO.: 301.001.01
DWG NAME: PMB_STREETS_01_COVER.dwg

COVER

SHEET:
CS1.0



KEY MAP
NORTH

CONTEXT SITE LEGEND:

	LIMITS OF FDP
	PROPERTY LINE
	ACCESSIBLE PEDESTRIAN ROUTE
	NON-ACCESSIBLE PEDESTRIAN ROUTE
	DESIGNATED BICYCLE ROUTE
	AREA OUTSIDE FDP LIMITS



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SAN DIEGO, CA 92130

DOWNTOWN SUPERIOR
FINAL DEVELOPMENT PLAN 1 - PHASE 12

REVISIONS

NO.	DESCRIPTION	DATE
1	RESPONSE TO STAFF COMMENTS	9/29/23
2	TECHNICAL CORRECTIONS	3/13/24
3	MYLAR PRINT	4/10/24

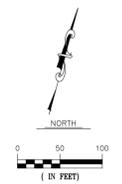
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DRAWN BY: CH SCALE: AS NOTED
CHECKED BY: JB
JOB NO.: 301.001.01
DWG NAME: PMB_STREETS_02_CONTEXT.dwg

CONTEXT PLAN

SHEET:
C1.0

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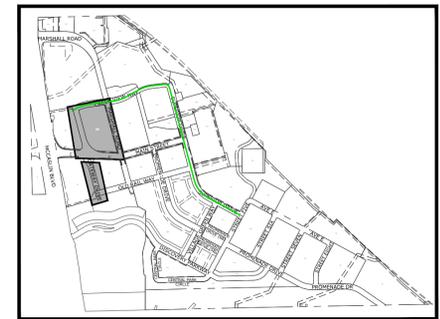
REVISIONS		
NO.	DESCRIPTION	DATE
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DESIGNED BY: CH DATE: 7/20/23
DRAWN BY: CH SCALE: AS NOTED
CHECKED BY: JB
JOB NO.: 301.001.01
DWG NAME: PMB_STREETS_07_OUP.dwg

UTILITY PLAN

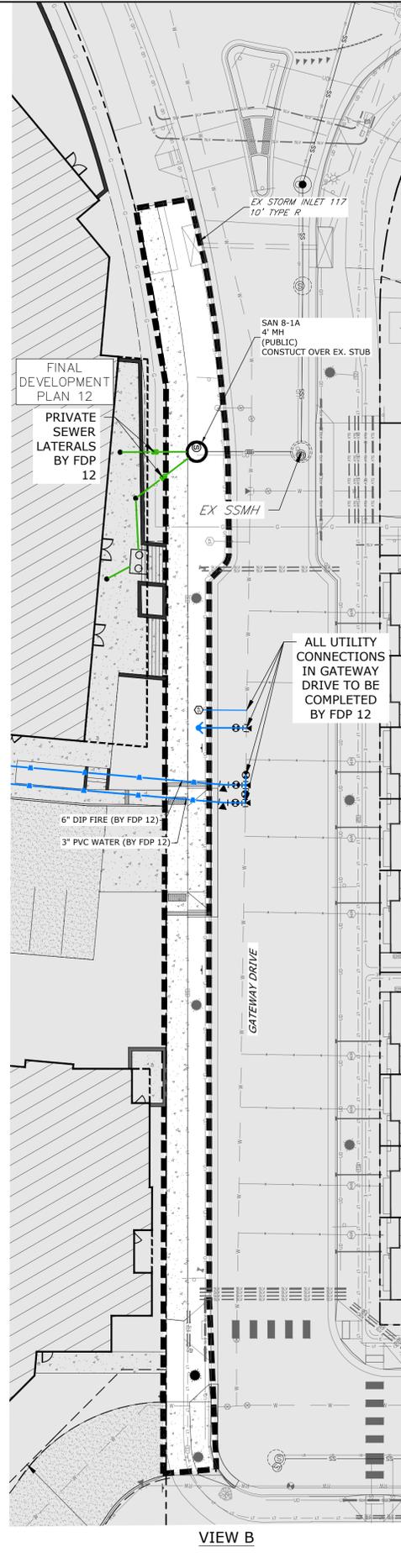
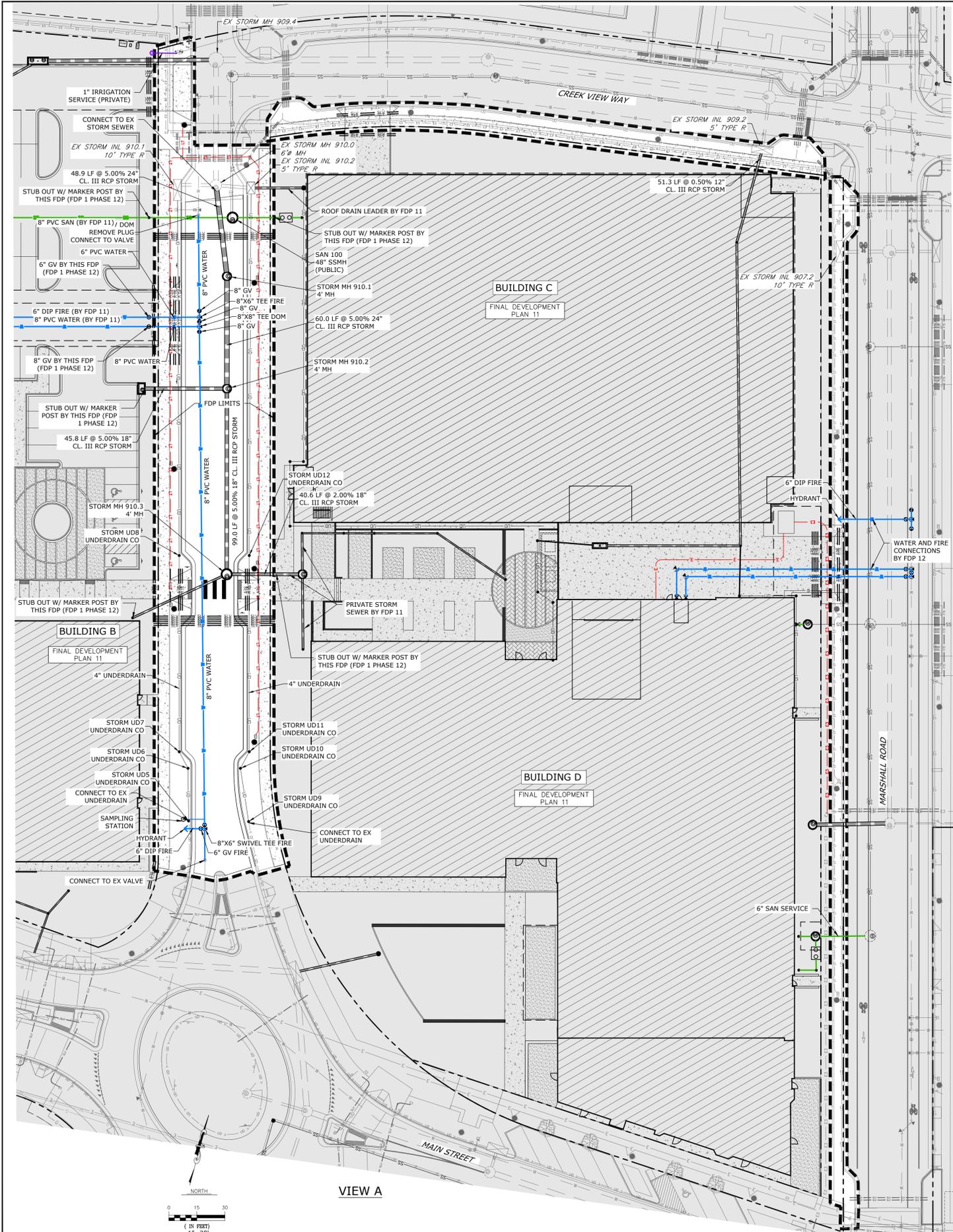
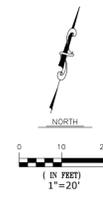
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C4.0



KEY MAP

THIS FDP	LEGEND:	SEPARATE FDP
---	PROPERTY LINE	---
---	FDP LIMIT LINE (THIS PHASE)	---
---	EASEMENT	---
---	AREA OUTSIDE FDP LIMITS	---
---	BUILDING	---
---	INLET	---
---	STORM MANHOLE	---
---	SANITARY MANHOLE	---
---	VALVES	---
---	WATER METER	---
---	HYDRANT	---
---	LIGHT POLE	---
---	VIEW DELINEATOR	---
---	TRUNCATED DOMES	---
---	TREE	---
---	TRANSFORMER	---
---	UNDERDRAIN	---
---	UNDERDRAIN CLEAN OUT	---
---	GAS LINE	---
---	STORM SEWER	---
---	SANITARY	---
---	SANITARY SERVICE WITH PLUG	---
---	REUSE WATER	---
---	WATER LINE	---
---	WATER SERVICE WITH WATER METER	---
---	ELECTRIC LINE	---
---	3 PHASE ELECTRIC	---
---	TELE LINE	---
---	SLEEVES	---
---	LIGHTING	---
---	WATER BENDS	---
---	WATER PLUG	---
---	WATER TEE	---
---	WATER SERVICE METER	---
---	GREASE TRAP / SAND OIL INTERCEPTOR	---

ALL DOMESTIC WATER MAIN PIPE IS BLUE PVC C900 DR14 FULLY RESTRAINED
ALL SANITARY SEWER PIPE IS GREEN SDR26
ALL HYDRANT BRANCH LINES ARE DIP CLASS 52
ALL STORM SEWER IS CLASS IV RCP UNLESS OTHERWISE NOTED
ALL DOMESTIC WATER SERVICE PIPE IS TYPE K COPPER
ALL SANITARY UNDERDRAIN IS WHITE PVC SDR26 PERFORATED
ALL SANITARY UNDERDRAIN SERVICE PIPE IS WHITE PVC SDR26 NON-PERFORATED



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CONSULTANTS

CIVIL
CIVIL RESOURCES, LLC
8300 COLORADO BLVD, SUITE 200
FIRESTONE, CO 80504
JIM BRZOSZTOWICZ, P.E.
303-653-1416

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720-544-2204

MEP
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1726 CHAMPA STREET, SUITE 100
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720-580-8516

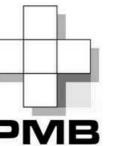
LANDSCAPE ARCHITECT
DIG STUDIO
1521 15TH STREET
DENVER, CO 80202
BILL VITEK, P.L.A., F.A.S.L.A.
720-328-1986

PROJECT

**SUPERIOR TOWN CENTER
FINAL DEVELOPMENT
PLAN 11 & 12**

**SUPERIOR COLORADO
LIFE SCIENCES**

SUPERIOR TOWN CENTER,
SUPERIOR, CO 80027



**PACIFIC MEDICAL
BUILDINGS**

3394 CARMEL MOUNTAIN RD,
SUITE #200
SAN DIEGO, CA 92121

Vested Rights:

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ISSUE CHART

MARK	ISSUE	DATE
3	TECHNICAL CORRECTIONS TO TOWN COMMENTS	03/13/24
2	RESPONSE TO TOWN COMMENTS	09/29/23
1	FINAL DEVELOPMENT PLAN	07/20/23
Job Number		162146.000

TITLE

**STREET LIGHTING
PHOTOMETRICS**

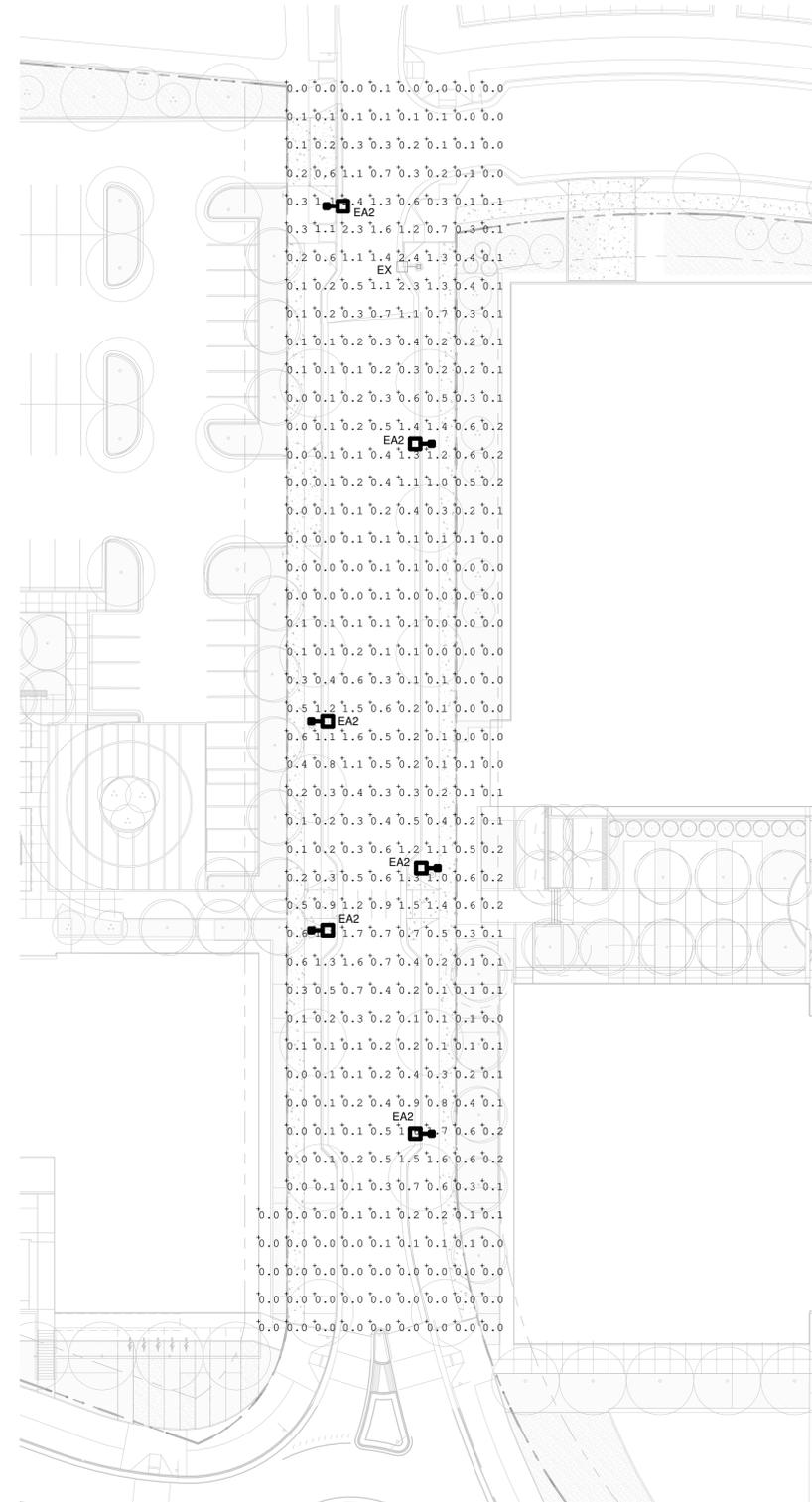
SHEET NUMBER

E.00

COAL CREEK FDP LUMINAIRE SCHEDULE

TYPE	MANUFACTURER	CATALOG NUMBER	SOURCE	WATTS	VOLT	DIMMING	HOURS OF OPERATION	MOUNTING	MOUNTING HEIGHT	LLF	CUTOFF	NOTES	FINISH
EA2	LANDSCAPE FORMS	AP201-SO-30K-T3-FRS-TW1-MBK / AP-16-A-XX-NR-NMS-MBK	2244 LUMENS 3000K, 80+ CRI	39.5	UNV	0-10V	CONTROLLED BY CITY	POLE	16'	0.9	B1-U1-G1 TYPE III	NO CENTER ELEMENT STREET LIGHTS	MATTE BLACK

GENERAL LUMINAIRE SCHEDULE NOTES:
1. ALL LED FIXTURES SHALL BE CAPABLE OF BEING TURNED FULLY OFF. 0.1% TO 10% LIGHT OUTPUT IN "OFF" STATE IS NOT ACCEPTABLE.
2. LISTED LUMENS ARE NOMINAL. LUMINAIRE SHALL PROVIDE DELIVERED LUMENS OF +/- INDICATED LUMEN PACKAGE, UNLESS NOTED OTHERWISE.



Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Site	Illuminance	Fc	0.33	2.4	0.0	N.A.	N.A.

1 STREET LIGHTING PHOTOMETRICS

SCALE: 1" = 30'-0"

GENERAL NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH PLANS APPROVED BY PROJECT SITE'S MUNICIPAL JURISDICTION, THE TOWN OF SUPERIOR. BASE INFORMATION PROVIDED BY ENGINEER AND SHOWN AS INFORMATION ONLY. REFER TO SURVEY, PLAT, ROADWAY AND UTILITY DRAWINGS, AND OTHER AVAILABLE DOCUMENTS FOR PROPERTY LIMITS, UTILITY DRAWINGS, EXISTING CONDITIONS, AND HORIZONTAL AND VERTICAL CONTROL.
- THE LIMITS OF WORK LINE IS SHOWN ON PLAN AS REFERENCE ONLY AND OCCURS AT BACK OF CURB, EDGE OF ROAD, FACE OF BUILDING, RIGHT OF WAY, OR SITE PROPERTY LINE UNLESS OTHERWISE DESIGNATED.
- VERIFY EXISTING SITE CONDITIONS INCLUDING, WALLS, VEGETATION, FENCES, UTILITIES, PROPERTY LINES, LIMITS OF ROADWAYS, CURBS AND GUTTERS, AND OTHER OBSTRUCTIONS THAT MAY AFFECT THE PROGRESS OF WORK.
- LOCATE UTILITIES AND MAINTAIN THEIR LOCATION DURING ALL PHASES OF WORK. DO NOT DAMAGE UTILITY LINES/STRUCTURES. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BEFORE STARTING ANY WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES, WHETHER OR NOT SHOWN OR DETAILED AND INSTALLED BY ANY OTHER CONTRACT. RESTORATION OF UTILITIES DAMAGED BY THE CONTRACTOR SHALL BE AT THE CONTRACTOR'S EXPENSE.
- THOROUGHLY REVIEW THE SITE CONDITIONS, DRAWINGS, AND TECHNICAL SPECIFICATIONS PRIOR TO CONSTRUCTION. COMPLETE THE WORK OF THIS PROJECT IN ACCORDANCE WITH APPROVED DRAWINGS.
- ANYTHING MENTIONED IN THE TECHNICAL SPECIFICATIONS AND NOT SHOWN ON THE DRAWINGS, OR SHOWN ON THE DRAWINGS AND NOT MENTIONED IN THE TECHNICAL SPECIFICATIONS SHALL BE OF LIKE EFFECT AS IF SHOWN OR MENTIONED IN BOTH.
- CONSTRUCTION INSTALLATION, MATERIALS, TESTING AND INSPECTION SHALL COMPLY WITH APPLICABLE CODES AND ORDINANCES.
- TAKE NECESSARY STEPS TO PROTECT AND MAINTAIN ALL FINISHED WORK FOR THE DURATION OF THE CONTRACT UNTIL FINAL ACCEPTANCE. ANY DAMAGE BROUGHT TO PLANT MATERIAL DUE TO CONTRACTOR NEGLIGENCE SHALL BE REPAIRED OR REPLACED AT CONTRACTOR EXPENSE.
- THESE DRAWINGS DO NOT SPECIFY SAFETY MATERIALS, EQUIPMENT, METHODS OR SEQUENCING TO PROTECT PERSONS AND PROPERTY. DIRECT AND IMPLEMENT SAFETY OPERATIONS AND PROCEDURES TO PROTECT THE OWNER, OTHER CONTRACTORS, THE PUBLIC, AND OTHER FOR THE DURATION OF THE CONTRACT.
- NOTES AND DETAILS ON SPECIFIC DRAWINGS TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
- OBTAIN NECESSARY PERMITS FROM ALL JURISDICTIONS AS REQUIRED TO CONSTRUCT THE WORK OF THIS PROJECT.
- THE WORK OF THIS CONTRACT WILL NOT BE CONSIDERED COMPLETE UNTIL ALL AREAS HAVE BEEN CLEANED OF ALL DIRT AND DEBRIS AND ALL DAMAGED ITEMS ARE REPAIRED.

GRADING NOTES

- EMPLOY A LICENSED SURVEYOR TO ESTABLISH ALL GRADE AND WORK LINES. HAVE OWNERS REPRESENTATIVE FIELD REVIEW AND APPROVE GRADE STAKES PRIOR TO FINAL GRADING.
- ALL PROPOSED GRADES SHALL MEET AND BLEND WITH EXISTING GRADES AT PROJECT LIMITS AND AT CURBS SIDEWALKS AND ROADWAYS. EXISTING ELEVATIONS INDICATED ON PLANS SHALL BE VERIFIED IN FIELD TO AS-BUILT CONDITION.
- EROSION CONTROL - SEE CIVIL ENGINEERING DRAWINGS FOR CONTRACTOR RESPONSIBILITIES, MEANS, AND METHODS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ROUNDING OFF ALL SHARP RIDGES EXISTING ON SITE WHETHER OR NOT SUCH CONDITIONS ARE INDICATED ON PLANS. ROUND TOPS AND TOES OF SLOPE TO PROVIDE SMOOTH TRANSITION TO EXISTING GRADE. BERMS AND LANDFORMS WILL BE SMOOTH AND ROUNDED VERTICAL CURVES WITH NO SHARP TRANSITION IN GRADE, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL NOT PROCEED WITH CONSTRUCTION WHEN IT BECOMES EVIDENT THAT UNFORSEEN OBSTRUCTIONS, AREA DISCREPANCIES AND/OR GRADE DIFFERENCES EXIST. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE FOR DECISION. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- ALL LANDSCAPE GRADES ARE BASED UPON ELEVATIONS SHOWN ON THE CIVIL ENGINEER DRAWINGS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH ALL GRADING OPERATIONS.
- MAINTAIN POSITIVE DRAINAGE, UNLESS SPECIFICALLY DESIGNED FOR PONDING, AT ALL TIMES. MINIMUM 2% SLOPE IN LANDSCAPED AREAS. REFER TO CIVIL ENGINEERS DRAWINGS FOR DRAINAGE STRUCTURE LOCATIONS AND DETAILS.
- ALL WALKS SHALL HAVE A MINIMUM 1.25% CROSS SLOPE TO ENSURE POSITIVE DRAINAGE OFF OF TRAVELED SURFACE. MAXIMUM CROSS SLOPE ON WALKWAYS ARE DESIGNED AND DRAWN AT A MAXIMUM 1.8% SLOPE IN ORDER TO ENSURE THE FINISHED CROSS SLOPE IS LESS THAN 2% PER ADA GUIDELINES. NO CROSS SLOPES ON PAVED SURFACES ARE TO BE GREATER THAN 2%.
- HOLD FINISH GRADES OF SHRUB AND GROUND COVER AREAS 1" BELOW THE TOP OF ADJACENT PAVEMENTS OR CURBS, UNLESS OTHERWISE NOTED.
- MAXIMUM SLOPES ON WALKS SHALL NOT EXCEED 4.8% IN THE DIRECTION OF TRAVEL WITHOUT A HANDRAIL.
- SUBSURFACE DRAINAGE LINES SHALL BE PLACED WITH A MINIMUM OF 12" COVER. CONTRACTOR IS RESPONSIBLE FOR VERIFYING INVERT ELEVATIONS AT ALL DRAINS AND PIPE DEPTHS TO ENSURE POSITIVE DRAINAGE AT THE SLOPE INDICATED TO THE OUTLET SHOWN ON THE PLANS.
- MAXIMUM SLOPE IN LANDSCAPE PLANTING AREAS IS 3:1. MAX SLOPE IN TURF/SOD AREAS IS 4:1.
- NO CHANGE IN CONTRACT PRICE WILL BE ALLOWED FOR ACTUAL OR CLAIMED DISCREPANCY BETWEEN EXISTING GRADE AND THOSE SHOWN ON PLANS AFTER CONTRACTOR HAS ACCEPTED EXISTING GRADES AND MOVED ONTO SITE.
- CONTRACTOR TO ENSURE SMOOTH, CONTINUOUS TRANSITIONS BETWEEN SLOPES UNLESS OTHERWISE NOTED.

LAYOUT NOTES

- VERIFY EXISTING SITE INFORMATION INCLUDING, BUT NOT LIMITED TO STREET GRADES, UTILITIES, PROPERTY LINES, LIMITS OF ROADWAYS, CURBS AND GUTTERS TAKEN FROM THE CIVIL ENGINEER'S DRAWINGS. THIS INFORMATION IS USED AS REFERENCE ONLY.
- ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND ORDINANCES.
- TAKE ALL DIMENSIONS FROM BACK OF CURB, FACE OF WALL OR BUILDING, AND CENTERLINE OF TREES UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS CALLED OUT AS 'EQUAL' (EQ) ARE EQUIDISTANT MEASUREMENTS.
- WRITTEN DIMENSIONS SUPERCEDE SCALED DIMENSIONS. DO NOT SCALE DRAWINGS, IF THERE IS A QUESTION REGARDING DIMENSIONS, CONTACT DIG STUDIO FOR VERIFICATION.
- ALL ANGLES TO MATCH THOSE NOTED ON DRAWING AND ALL LINES OF PAVING TO BE PARALLEL UNLESS OTHERWISE NOTED. MAINTAIN HORIZONTAL ALIGNMENT OF ADJACENT ELEMENTS AS NOTED ON DRAWINGS. DETACHED WALKS TO BE CONSTRUCTED PARALLEL TO CURB AND GUTTER UNLESS OTHERWISE NOTED. REFERENCE TO NORTH REFERS TO TRUE NORTH. REFERENCE TO SCALE IS FOR FULL SIZED DRAWINGS ONLY. DO NOT SCALE FROM DRAWINGS.
- CONCRETE SLABS OR FOOTINGS SHALL BE DOWELED INTO ABUTTING WALLS, FOUNDATIONS AND FOOTINGS WHERE SHOWN ON THE PLAN.
- PROVIDE EXPANSION JOINTS IN CONCRETE PAVING, CURBS, AND WALLS, A MAXIMUM DISTANCE OF 30 FEET APART AND AT ALL INTERSECTIONS. PROVIDE EXPANSION JOINTS WHERE NEW CURBS, WALLS, AND ANY NEW CONCRETE ABUTS EXISTING CONCRETE PAVING, BUILDINGS, CURBS, AND WALLS UNLESS OTHERWISE NOTED.
- PROVIDE CONTROL JOINTS EVENLY SPACED BETWEEN EXPANSION JOINTS AS SHOWN ON DRAWINGS, EXCEPT WHERE SPECIAL SCORE JOINT PATTERN IS SPECIFIED.
- SLEEVES AND CONDUITS SHALL BE INSTALLED A MINIMUM OF 18 INCHES BELOW FINISHED GRADE AND SHALL EXTEND 12 INCHES BEYOND BACK OF CURBS, WALLS, AND PAVING.
- ARCS AND CURVES TO BE SMOOTH AND CONTINUOUS. STAKE AND FIELD REVIEW WITH LANDSCAPE ARCHITECT WHEN NECESSARY AND PRIOR TO FORMING.
- COORDINATE AND FIELD VERIFY ALL SLEEVING LOCATIONS FOR ALL UTILITY, ELECTRICAL, AND IRRIGATION PRIOR TO CONSTRUCTION.

PLANTING NOTES

- ALL PLANT MATERIALS SHALL MEET OR EXCEED CURRENT AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) AND THE COLORADO NURSERY ACT AND ACCOMPANYING RULES AND REGULATIONS.
- ALL PLANTS WILL BE BALLED AND BURLAPPED OR CONTAINER GROWN. BARE ROOT OR SPADED PLANTS WILL NOT BE ACCEPTED.
- SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING BED AS SHOWN ON THE DRAWINGS.
- ALL PLANTS WILL BE INSPECTED AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO DELIVERY TO THE SITE.
- ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND SUPERIOR TOWN FORESTRY PRIOR TO DELIVERY TO THE SITE.
- OBTAIN LANDSCAPE ARCHITECTS APPROVAL OF FINISH GRADING PRIOR TO THE START OF PLANTING.
- STAKE LOCATIONS OF ALL PROPOSED TREES AND EDGES OF NEW PLANTING BEDS FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF PLANTING.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING AWARE OF ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. THE LANDSCAPE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES FOR FIELD LOCATION OF UNDERGROUND UTILITY LINES PRIOR TO ANY EXCAVATION. LANDSCAPE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST OF UTILITY REPAIR DUE TO DAMAGE CAUSED BY HIS OPERATIONS.
- DO NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE LANDSCAPE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS.
- SEE SPECIFICATIONS FOR PLANTING REQUIREMENTS, SOIL PREPARATION TESTING, MATERIALS AND EXECUTION. ARRANGE FOR VISIT OF LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL A MINIMUM OF 48 HOURS PRIOR TO INSTALLATION.
- SEE DETAILS AND SPECIFICATIONS FOR STAKING METHOD, PLANT PIT DIMENSIONS AND BACKFILL REQUIREMENTS.
- LANDSCAPE CONTRACTOR SHALL PROVIDE PER-UNIT COSTS FOR EVERY SIZE OF PLANT MATERIALS, AND BY TYPE, AS CALLED OUT ON PLANTING PLANS. UNIT COST TO INCLUDE THE PLANT MATERIAL ITSELF AND INSTALLATION, INCLUDING ALL LABOR, AMENDMENTS, FERTILIZERS, ETC., AS DETAILED AND SPECIFIED FOR EACH SIZE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE TO DO THEIR OWN QUANTITY TAKEOFFS FOR ALL PLANT MATERIALS AND SIZES SHOWN ON PLANS.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR POSITIVE DRAINAGE THROUGHOUT THE SITE WITH ACCURATELY SET FLOW LINES. NO LOW SPOTS OR PONDING OF SURFACE WATER WILL BE ACCEPTED IN FINAL WORK.
- COORDINATE INSTALLATION OF LARGE PLANT MATERIAL WITH INSTALLATION OF WALL FOOTINGS, BRIDGE ABUTMENTS AND PAVEMENTS. ANY DAMAGE TO IMPROVEMENTS BY OTHERS IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- THE LANDSCAPE CONTRACTOR SHALL ALLOW FOR THE ADDITION OF SPECIFIED QUANTITIES OF SOIL AMENDMENTS, CONDITIONERS AND MULCH IN SOIL PREPARATION AND FINISH GRADING.
- IMPORTED SOIL SHALL BE USED TO SUPPLEMENT THE EXISTING SOIL AS NECESSARY.

- TO MEET THE FINISH GRADE REQUIREMENTS AT PLANTING AREAS.
- THE LANDSCAPE CONTRACTOR SHALL VERIFY SOIL TEST AT HIS EXPENSE PRIOR TO PLANTING AND WILL FOLLOW TEST RECOMMENDATIONS AND LANDSCAPE ARCHITECT'S APPROVAL FOR SOIL AMENDMENTS.
- THE LANDSCAPE CONTRACTOR SHALL RECEIVE THE SPECIFIED SUBGRADE ELEVATION OF +/- ONE TENTH OF A FOOT BELOW FINISH GRADE. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH AND INSTALL AMENDED OR IMPORTED SOIL IN ANY PLANTING AREAS AS NECESSARY TO ACHIEVE THE SPECIFIED FINISH PLANTING GRADES UNLESS OTHERWISE NOTED ON PLANS OR SPECS.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST THE LOCATION OF PLANT MATERIAL DURING INSTALLATION AS APPROPRIATE TO THE PROJECT. FOR TREES IN THE RIGHT-OF-WAY BY BUILDER OR CONTRACTOR, ADJUSTMENTS OF 5'-0" OR MORE MUST HAVE PRIOR AUTHORIZATION OF CITY FORESTER.
- CONTRACTOR IS TO FAMILIARIZE HIMSELF WITH THE LAYOUT, GRADING AND CIVIL ENGINEERING DOCUMENTS TO COORDINATE ACTUAL LOCATION OF TREES AND SHRUBS.
- MAINTENANCE STATEMENT: ALL LANDSCAPING SHOWN ON THIS PLAN SHALL BE MAINTAINED IN A NEAT AND ADEQUATE MANNER. REQUIRED MAINTENANCE ACTIVITIES SHALL INCLUDE, BUT NOT LIMITED TO, MOWING OF LAWNS, TRIMMING OF HEDGES, ADEQUATE IRRIGATION, REPLACEMENT OF DEAD, DISEASED OR UNSIGHTLY LANDSCAPING, REMOVAL OF WEEDS FROM PLANTED AREAS, AND APPROPRIATE PRUNING OF PLANT MATERIALS.
- TAKE ALL DIMENSIONS FROM BACK OF CURB, CENTER LINE OF TREES, AND CENTERLINE OF LIGHT POLE BASES, UNLESS OTHERWISE NOTED.
- TAKE ALL DIMENSIONS PERPENDICULAR TO ANY REFERENCE LINE, CENTERLINE, OR BACK OF CURB.
- WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS. DO NOT SCALE DRAWINGS, IF THERE IS A QUESTION REGARDING DIMENSION, CONTACT LANDSCAPE ARCHITECT FOR VERIFICATION.
- ALL LANDSCAPED AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM. LAWN AREAS WILL BE SPRAYED AND SHRUBS WILL BE DRIP IRRIGATED. NATURAL AREAS, SUCH AS THOSE WITH PRAIRIE TYPES OF GRASSES AND NATIVE SHRUB SPECIES, ARE DESIGNED TO IRRIGATE THROUGH GROW-IN AND THEN BE SHUT OFF EXCEPT DURING SEVERE DROUGHT. CONTRACTOR SHALL BE RESPONSIBLE FOR TAPS, BACKFLOW PREVENTION AND WINTERIZATION SYSTEMS, SLEEVING UNDER PAVED AREAS AND ALL SPRINKLER SYSTEM COMPONENTS NECESSARY FOR A FULLY FUNCTIONAL SYSTEM. TREES SHALL BE ON A SEPARATE ZONE FROM TURF.
- STREET TREES SHALL BE PLACED 5'-0" MIN FROM BURIED UTILITIES.
- PER GEOTECH REPORT, ALL PLANTING TO BE LOCATED A MINIMUM OF 5'-0" OFF OF BUILDING FOUNDATION.
- TURF AREAS SHALL RECEIVE SOIL AMENDMENT. AMENDMENT SHALL BE A MAXIMUM OF THREE AND ONE-HALF (3.5) CUBIC YARDS OF PURE ORGANIC MATERIAL PER ONE THOUSAND (1,000) SQUARE FEET. TILLED TO A MINIMUM DEPTH OF SIX (6) INCHES. TURF SOD MIX SHALL MATCH THE TOWN OF SUPERIOR TURF SOD SPECIFICATION.
- ALL SHRUB, PERENNIAL AND GROUND COVER AREAS TO RECEIVE SOIL AMENDMENT. AMEND SOIL PER SOIL TESTING RESULTS AND RECOMMENDATIONS.
- ALL SHRUB, PERENNIAL AND GROUND COVER AREAS TO RECEIVE 3" ROCK MULCH APPLICATION, PER MATERIALS SCHEDULE, DETAILS/SPECIFICATIONS.

SHEET LIST

LANDSCAPE GENERAL SHEETS	
LANDSCAPE GENERAL NOTES + PROJECT AERIAL	L0.1
LANDSCAPE MATERIALS + LAYOUT SHEETS	
LANDSCAPE MATERIALS SCHEDULE + NOTES	L1.0
LANDSCAPE MATERIALS + LAYOUT PLAN	L1.1
LANDSCAPE SITE DETAILS	
LANDSCAPE SITE DETAILS	L2.0
LANDSCAPE PLANTING SHEETS	
LANDSCAPE PLANTING SCHEDULE + NOTES	L3.1
LANDSCAPE PLANTING PLAN	L3.1
LANDSCAPE PLANTING DETAILS	
PLANTING DETAILS	L4.0
PLANTING DETAILS	L4.1

IRRIGATION GENERAL SHEETS	
IRRIGATION NOTES + SCHEDULE	IR3.0
IRRIGATION PLAN SHEETS	
IRRIGATION PLAN	IR3.1
IRRIGATION DETAIL SHEETS	
IRRIGATION DETAILS	IR3.2
IRRIGATION DETAILS	IR3.3

ABBREVIATIONS

APPROX	APPROXIMATE	LOW	LIMIT OF WORK
ARCH	ARCHITECT	LP	LOW POINT
BC	BOTTOM OF CURB	MAX	MAXIMUM
BLDG	BUILDING	MIN	MINIMUM
BOC	BACK OF CURB	MISC	MISCELLANEOUS
BOS	BOTTOM OF SLOPES	PA	PLANTING AREA
BS	BOTTOM OF STEPS	PE	PESTRIAN
BW	BOTTOM OF WALL	PG	PROPOSED GRADE
CIP	CAST IN PLACE	PIP	POURED IN PLACE
CJ	CONTROL JOINT	PL	PROPERTY LINE
CL	CENTERLINE	PT	POINT OF TANGENCY
CONC	CONCRETE	PVMT	PAVEMENT
CONT	CONTINUOUS	QTY	QUANTITY
CP	CENTER POINT	R	RADIUS
DI	DRAIN INLET	RIM	RIM ELEVATION
DIA	DIAMETER	RE	REFER TO
DIM	DIMENSION	ROW	RIGHT OF WAY
EA	EACH	SF	SQUARE FEET
EG	EXISTING GRADE	SHT	SHEET
EJ	EXPANSION JOINT	SPECS	SPECIFICATIONS
EL	ELEVATION	ST	STATION
EQ	EQUAL	STD	STANDARD
EFW	ENGINEER WOOD FIBER	TC	TOP OF CURB
EXIST	EXISTING	TG	TOP OF GRATE
FOC	FACE OF CURB	TP	TANGENT POINT
FFE	FINISH FLOOR ELEVATION	TW	TOP OF WALL
FG	FINISH GRADE	TYP	TYPICAL
FL	FLOW LINE	VERT	VERTICAL
FOW	FACE OF WALL	VOL	VOLUME
FS	FINISH SURFACE		
GB	GRADE BREAK		
HP	HIGH POINT		
INV	INVERT OF PIPE		



1 PROJECT AERIAL
NTS



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DOWNTOWN SUPERIOR
FINAL DEVELOPEMENT PLAN 1 - PHASE 12

REVISIONS		
NO.	DESCRIPTION	DATE

DESIGNED BY: TM,WC	DATE: 7/20/23
DRAWN BY: TM,WC	SCALE: 1"=30'
CHECKED BY: BV	
JOB NO.: 301.001.01	
DWG NAME: L001-GENERAL SHEETS.dwg	

LANDSCAPE GENERAL NOTES + PROJECT AERIAL

SHEET:
L0.1



1/15/2004 L001-GENERAL SHEETS.dwg PLOT DATE: 3/14/2024 9:18:51 AM Plotted by: Superior Life Sciences Campus/Block 2 and 5/M CAD/4.1 Sheets/FPD Package/Block 2 5 - ROW/L001-GENERAL SHEETS.dwg



DOWNTOWN SUPERIOR
FINAL DEVELOPEMENT PLAN 1 - PHASE 12

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 DWG NAME: LM100-MATERIALS PLANS.dwg

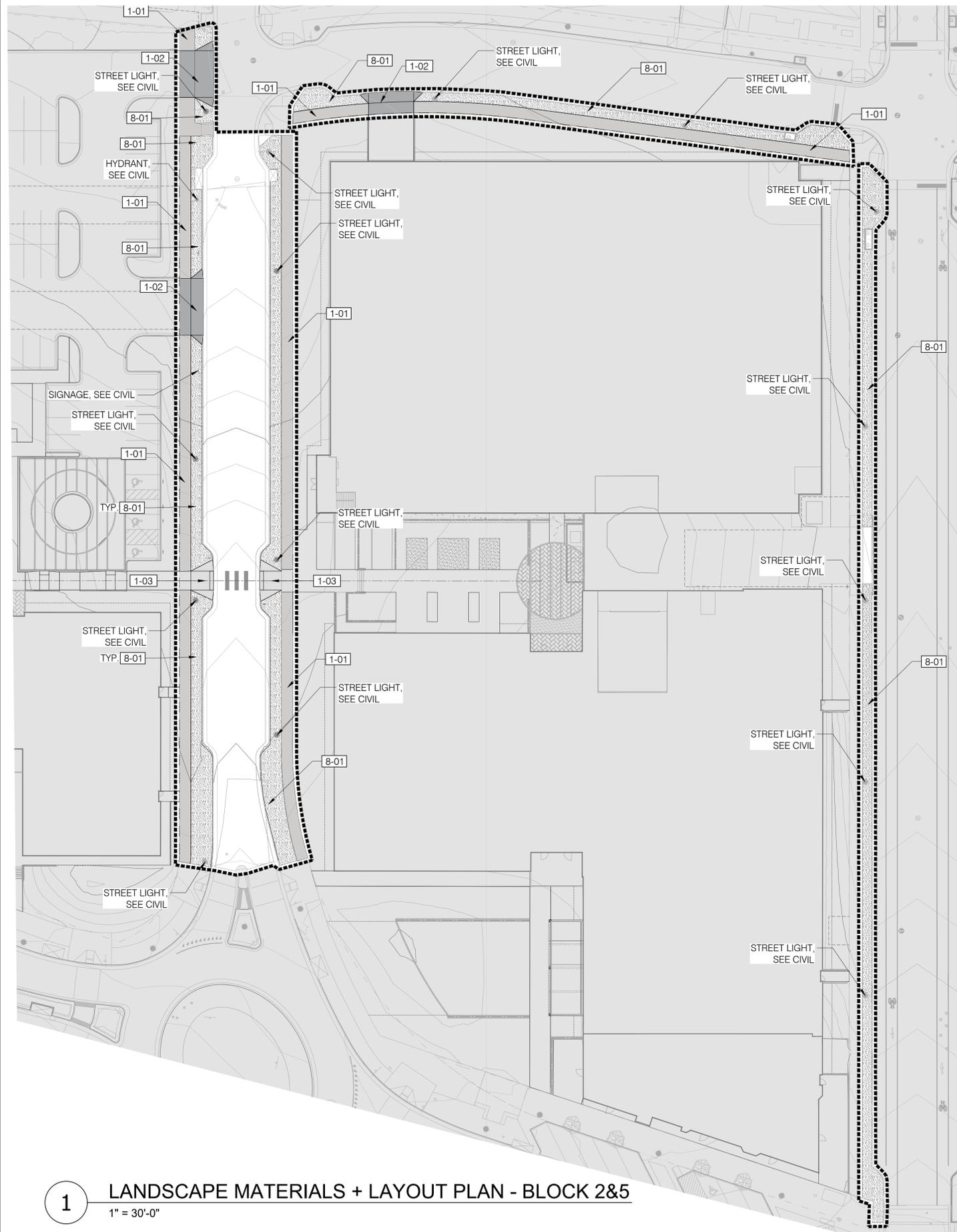
**LANDSCAPE
MATERIALS SCHEDULE
+ NOTES**

SHEET:
L1.0

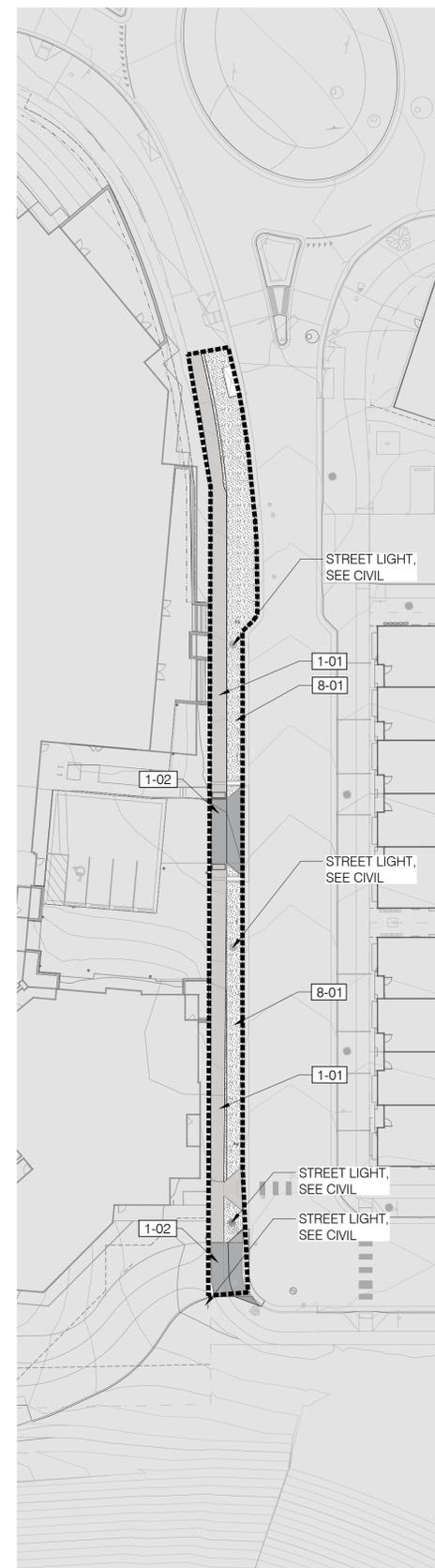
REFERENCE NOTES SCHEDULE

1 - PAVING & SURFACING										
SYMBOL	DESCRIPTION	QTY	DETAIL	MANUFACTURER	MODEL	FINISH	COLOR	THICKNESS	SUBMITTAL	SHOP DRAWING
	1-01 CONCRETE TYPE ONE (PEDESTRIAN)	27,136 SF		PER CONTRACTOR	RE: CIVIL	LIGHT BROOM FINISH	NATURAL GRAY	RE: CIVIL	X	X
	1-02 CONCRETE TYPE ONE (VEHICULAR)	1,791 SF	RE: CIVIL	PER CONTRACTOR	RE: CIVIL	LIGHT BROOM FINISH	STANDARD GRAY	RE: CIVIL	X	
	1-03 CONCRETE TYPE TWO (PEDESTRIAN)	4,720 SF		COLORADO HARDSCAPE	DAVIS COLOR	SAND FINISH	TBD	RE: CIVIL	X	X
8 - PLANTING										
SYMBOL	DESCRIPTION	QTY	DETAIL	MANUFACTURER	MODEL	FINISH	COLOR	SIZE	SUBMITTAL	SHOP DRAWING
	8-01 ROCK MULCH	66,442 SF		PER CONTRACTOR	TO MATCH EXISTING R.O.W.	N/A	TO MATCH EXISTING R.O.W.	1-1/2" TO MATCH EXISTING	X	

PLOT DATE: 3/14/2023 9:20:31 AM
 File: 2023 Superior Life Sciences Campus Block 2 and 5 (M CAD) 1 Sheets (FDP Package) Superior Block 2 5 - ROW LM100-MATERIALS PLANS.dwg



1 LANDSCAPE MATERIALS + LAYOUT PLAN - BLOCK 2&5
 1" = 30'-0"



2 LANDSCAPE PLANTING PLAN - BLOCK 8
 1" = 30'-0"

REFERENCE NOTES SCHEDULE

SYMBOL	1 - PAVING & SURFACING DESCRIPTION	DETAIL
1-01	CONCRETE TYPE ONE (PEDESTRIAN)	
1-02	CONCRETE TYPE ONE (VEHICULAR)	RE: CIVIL
1-03	CONCRETE TYPE TWO (PEDESTRIAN)	
SYMBOL	8 - PLANTING DESCRIPTION	DETAIL
8-01	ROCK MULCH	



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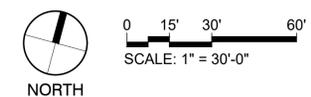
DOWNTOWN SUPERIOR
 FINAL DEVELOPEMENT PLAN 1 - PHASE 12

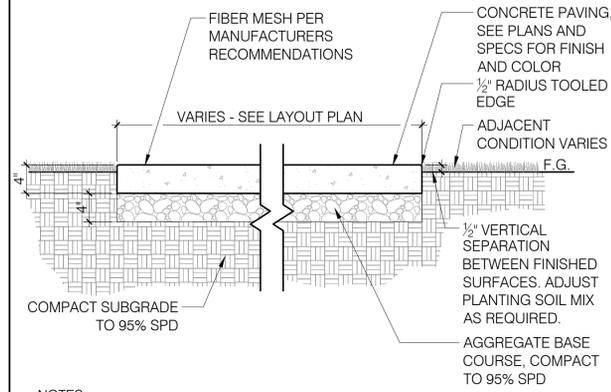
REVISIONS		
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 DRAWN BY: TM,WC SCALE: 1"=30'
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 JOB NO.: 301.001.01
 DWG NAME: LM100-MATERIALS PLANS.dwg

LANDSCAPE MATERIALS + LAYOUT PLAN

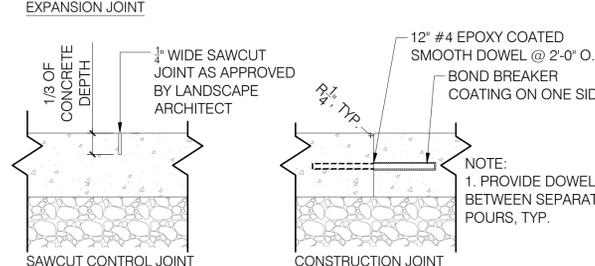
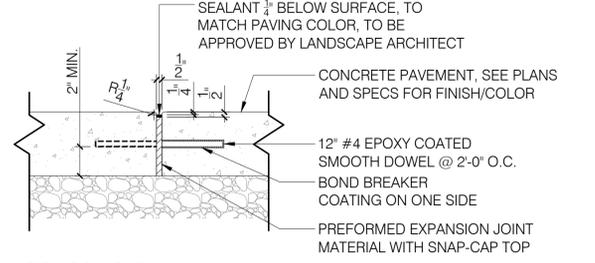
SHEET:
L1.1



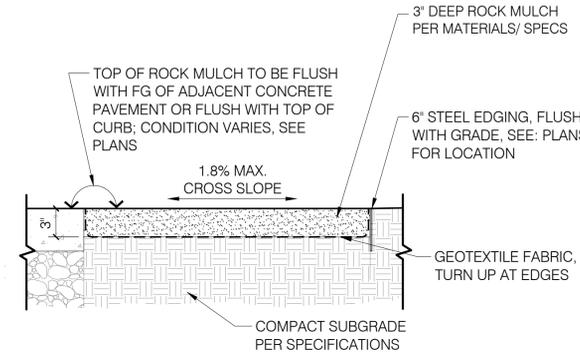


- NOTES:
1. PROVIDE 1.5% SLOPE MIN. UNLESS OTHERWISE NOTED. MAX 1.8% CROSS SLOPE.
 2. EXPANSION JOINTS AT 30'-0" O.C. MAXIMUM, AT SIDEWALK INTERSECTIONS AND WHERE CONCRETE PAVING ABUTS STRUCTURES, UNLESS OTHERWISE NOTED.
 3. CONTROL JOINTS AT 6'-0" O.C. MAXIMUM.
 4. SEE PLAN FOR EXPANSION AND CONTROL JOINT LOCATIONS.
 5. COLOR A: STANDARD SAND FINISH CONCRETE
COLOR B: TBD

1 CONCRETE PAVING (PEDESTRIAN)
1" = 1'-0"



2 EXPANSION, CONTROL, & CONSTRUCTION JOINTS
1 1/2" = 1'-0" P-SUPPROW-03



3 ROCK MULCH
1" = 1'-0"



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FINAL DEVELOPEMENT PLAN 1 - PHASE 12

REVISIONS		
NO.	DESCRIPTION	DATE

DESIGNED BY: TM,WC DATE: 7/20/23
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 CHECKED BY: BV
 JOB NO.: 301.001.01
 DWG NAME: LM-500-SITE DETAILS.dwg

LANDSCAPE SITE DETAILS

SHEET:
L2.0

PLANTING + IRRIGATION NOTES

- ALL PLANT MATERIALS SHALL MEET OR EXCEED CURRENT AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) AND THE COLORADO NURSERY ACT AND ACCOMPANYING RULES AND REGULATIONS.
- ALL PLANTS WILL BE BALLED AND BURLAPPED OR CONTAINER GROWN. BARE ROOT OR SPADED PLANTS WILL NOT BE ACCEPTED.
- SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING BED AS SHOWN ON THE DRAWINGS.
- ALL PLANTS WILL BE INSPECTED AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO DELIVERY TO THE SITE.
- ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND SUPERIOR TOWN FORESTRY PRIOR TO DELIVERY TO THE SITE.
- OBTAIN LANDSCAPE ARCHITECTS APPROVAL OF FINISH GRADING PRIOR TO THE START OF PLANTING.
- STAKE LOCATIONS OF ALL PROPOSED TREES AND EDGES OF NEW PLANTING BEDS FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF PLANTING.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING AWARE OF ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. THE LANDSCAPE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES FOR FIELD LOCATION OF UNDERGROUND UTILITY LINES PRIOR TO ANY EXCAVATION. LANDSCAPE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST OF UTILITY REPAIR DUE TO DAMAGE CAUSED BY HIS OPERATIONS.
- DO NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE LANDSCAPE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
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- SEE SPECIFICATIONS FOR PLANTING REQUIREMENTS, SOIL PREPARATION TESTING, MATERIALS AND EXECUTION. ARRANGE FOR VISIT OF LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL A MINIMUM OF 48 HOURS PRIOR TO INSTALLATION.
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- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR POSITIVE DRAINAGE THROUGHOUT THE SITE WITH ACCURATELY SET FLOW LINES. NO LOW SPOTS OR PONDING OF SURFACE WATER WILL BE ACCEPTED IN FINAL WORK.
- COORDINATE INSTALLATION OF LARGE PLANT MATERIAL WITH INSTALLATION OF WALL FOOTINGS, BRIDGE ABUTMENTS AND PAVEMENTS. ANY DAMAGE TO IMPROVEMENTS BY OTHERS IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- THE LANDSCAPE CONTRACTOR SHALL ALLOW FOR THE ADDITION OF SPECIFIED QUANTITIES OF SOIL AMENDMENTS, CONDITIONERS AND MULCH IN SOIL PREPARATION AND FINISH GRADING.
- IMPORTED SOIL SHALL BE USED TO SUPPLEMENT THE EXISTING SOIL AS NECESSARY TO MEET THE FINISH GRADE REQUIREMENTS AT PLANTING AREAS.
- THE LANDSCAPE CONTRACTOR SHALL VERIFY SOIL TEST AT HIS EXPENSE PRIOR TO PLANTING AND WILL FOLLOW TEST RECOMMENDATIONS AND LANDSCAPE ARCHITECT'S APPROVAL FOR SOIL AMENDMENTS.
- THE LANDSCAPE CONTRACTOR SHALL RECEIVE THE SPECIFIED SUBGRADE ELEVATION, OF +/- ONE TENTH OF A FOOT BELOW FINISH GRADE. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH AND INSTALL AMENDED OR IMPORTED SOIL IN ANY PLANTING AREAS AS NECESSARY TO ACHIEVE THE SPECIFIED FINISH PLANTING GRADES UNLESS OTHERWISE NOTED ON PLANS OR SPECS.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST THE LOCATION OF PLANT MATERIAL DURING INSTALLATION AS APPROPRIATE TO THE PROJECT. FOR TREES IN THE RIGHT-OF-WAY BY BUILDER OR CONTRACTOR, ADJUSTMENTS OF 5'-0" OR MORE MUST HAVE PRIOR AUTHORIZATION OF CITY FORESTER.
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- TAKE ALL DIMENSIONS FROM BACK OF CURB, CENTER LINE OF TREES, AND CENTERLINE OF LIGHT POLE BASES, UNLESS OTHERWISE NOTED.
- TAKE ALL DIMENSIONS PERPENDICULAR TO ANY REFERENCE LINE, CENTERLINE, OR BACK OF CURB.
- WRITTEN DIMENSIONS SUPERSSEDE SCALED DIMENSIONS. DO NOT SCALE DRAWINGS, IF THERE IS A QUESTION REGARDING DIMENSION, CONTACT LANDSCAPE ARCHITECT FOR VERIFICATION.
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- ALL PLANT MATERIAL AND IRRIGATION LOCATED WITHIN THE PUBLIC RIGHT OF WAY SHALL BE CONNECTED TO THE ROW OF WAY SYSTEM AND MAINTAINED BY THE DISTRICT OR TOWN OF SUPERIOR.
- STREET TREES SHALL BE PLACED 5'-0" MIN FROM BURIED UTILITIES.
- PER GEOTECH REPORT, ALL PLANTING TO BE LOCATED A MINIMUM OF 5'-0" OFF OF BUILDING FOUNDATION.
- TURF AREAS SHALL RECEIVE SOIL AMENDMENT. AMENDMENT SHALL BE A MAXIMUM OF THREE AND ONE-HALF (3.5) CUBIC YARDS OF PURE ORGANIC MATERIAL PER ONE THOUSAND (1,000) SQUARE FEET. TILLED TO A MINIMUM DEPTH OF SIX (6) INCHES. TURF SOD MIX SHALL MATCH THE TOWN OF SUPERIOR TURF SOD SPECIFICATION.
- ALL SHRUB, PERENNIAL AND GROUND COVER AREAS TO RECEIVE SOIL AMENDMENT. AMEND SOIL PER SOIL TESTING RESULTS AND RECOMMENDATIONS.
- ALL SHRUB, PERENNIAL AND GROUND COVER AREAS TO RECEIVE 3" DEEP ROCK MULCH APPLICATION, PER MATERIALS SCHEDULE, DETAILS/SPECIFICATIONS.
- PLANT AT LEAST 10' BETWEEN THE EDGES OF EVERGREEN TREE CROWNS IN DEFENSIBLE SPACE.
- PLANT SMALLER EVERGREENS ON A 20-25' SPACING.
- FOR EVERGREENS PLANTED IN NATIVE SEED, LIMB UP BRANCHES TO A HEIGHT OF 6' ABOVE THE GROUND, BUT REMOVE NO MORE THAN 1/3 OF THE LIVE CROWN OF THE TREE.
- EXTEND ROCK MULCH A MINIMUM OF 1-3' BEYOND THE ANTICIPATED MATURE CANOPY RADIUS OF EVERGREEN TREES PLANTED IN SHRUB AND PERENNIAL BEDS.

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
DECIDUOUS TREES				
	ACE DEB	7	ACER PLATANOIDES 'DEBORAH' DEBORAH NORWAY MAPLE	2.5" CAL
	CAT SPE	3	CATALPA SPECIOSA NORTHERN CATALPA	2.5" CAL
	CEL OCC	3	CELTIS OCCIDENTALIS COMMON HACKBERRY	2.5" CAL
	GLE INE	7	GLEDITSIA TRIACANTHOS INERMIS 'SKYLINE' SKYLINE® HONEY LOCUST	2.5" CAL
	GYM KEN	10	GYMNOCLADUS DIOICUS KENTUCKY COFFEETREE	2.5" CAL
	QUE BIC	6	QUERCUS BICOLOR SWAMP WHITE OAK	2.5" CAL
	QUE ROB	3	QUERCUS ROBUR ENGLISH OAK	2.5" CAL
DECIDUOUS SHRUBS				
	BER CRI	134	BERBERIS THUNBERGII 'CRIMSON PYGMY' CRIMSON PYGMY JAPANESE BARBERRY	5 GAL
	COR KLS	148	CORNUS SERICEA 'KELSEY' KELSEY'S DWARF RED TWIG DOGWOOD	5 GAL
	DAS AHN	46	DASIPHORA FRUTICOSA 'PINK BEAUTY' PINK BEAUTY BUSH CINQUEFOIL	5 GAL
	PER LIT	134	PEROVSKIA ATRIFOLIOLIA 'LITTLE SPIRE' LITTLE SPIRE RUSSIAN SAGE	5 GAL
	RHU AUT	11	RHUS TRILOBATA 'AUTUMN AMBER' AUTUMN AMBER SUMAC	5 GAL
	RIB GRE	6	RIBES ALPINUM 'GREEN MOUND' GREEN MOUND ALPINE CURRANT	5 GAL
	ROS ESE	35	ROSA MEIDLAND WHITE WHITE MEIDLAND ROSE	5 GAL
	ROS F43	126	ROSA X NOARE FLOWER CARPET® RED GROUND COVER ROSE	5 GAL
	SYR MIS	48	SYRINGA PATULA 'MISS KIM' MISS KIM KOREAN LILAC	5 GAL
	VIB MUF	17	VIBURNUM DENTATUM 'BLUE MUFFIN' BLUE MUFFIN ARROWWOOD VIBURNUM	5 GAL
	VIB NAN	53	VIBURNUM OPULUS 'NANUM' DWARF EUROPEAN CRANBERRYBUSH	5 GAL
EVERGREEN SHRUBS				
	ARC PAN	14	ARCTOSTAPHYLOS X COLORADENSIS 'PANCHITO' PANCHITO MANZANITA	5 GAL
GRASSES				
	CAL KAR	113	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' KARL FOERSTER FEATHER REED GRASS	1 GAL
	CEN EAE	176	CENCHRUS ALOPECUROIDES 'HAMELN' HAMELN FOUNTAIN GRASS	1 GAL
	HEL SEM	175	HELIOTRICHON SEMPERVIRENS BLUE AVENA GRASS	1 GAL
	MIS GRA	36	MISCANTHUS SINENSIS 'GRACILLIMUS' MAIDEN GRASS	1 GAL
	PAN HEA	96	PANICUM VIRGATUM 'HEAVY METAL' HEAVY METAL SWITCH GRASS	1 GAL
PERENNIALS				
	ACH MOO	92	ACHILLEA X MOONSHINE MOONSHINE YARROW	1 GAL
	CEN RUB	55	CENTRANTHUS RUBER RED VALERIAN	1 GAL
	COR VER	15	COREOPSIS VERTICILLATA 'MOONBEAM' MOONBEAM COREOPSIS	1 GAL
	DEL FLO	210	DELOSPERMA FLORIBUNDUM 'STARBURST' STARBURST ICE PLANT	1 GAL
	ECH PUR	40	ECHINACEA PURPUREA CONEFLOWER	1 GAL
	LAV HID	113	LAVANDULA ANGUSTIFOLIA 'HIDCOTE' HIDCOTE ENGLISH LAVENDER	1 GAL
	LEU SH2	59	LEUCANTHEMUM X SUPERBUM SHASTA DAISY	1 GAL
	NEP WAL	21	NEPETA X FAASSENII 'WALKER'S LOW' WALKER'S LOW CATMINT	1 GAL
	SAL MA3	55	SALVIA X SYLVESTRIS 'MAY NIGHT' MAY NIGHT SAGE	1 GAL
	SED AU3	146	SEDUM X 'AUTUMN JOY' AUTUMN JOY SEDUM	1 GAL

PLOT DATE: 3/14/2024 9:21:03 AM Row: 100-PLANTING PLANS.dwg



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SUITE 705 PMB 381
SAN DIEGO, CA 92130

DOWNTOWN SUPERIOR
FINAL DEVELOPEMENT PLAN 1 - PHASE 12

REVISIONS		
NO.	DESCRIPTION	DATE

DESIGNED BY: TM,WC DATE: 7/20/23
DRAWN BY: TM,WC SCALE: 1"=30'
CHECKED BY: BV
JOB NO.: 301.001.01
DWG NAME: LP100-PLANTING PLANS.dwg

LANDSCAPE PLANTING SCHEDULE + NOTES

SHEET:
L3.0

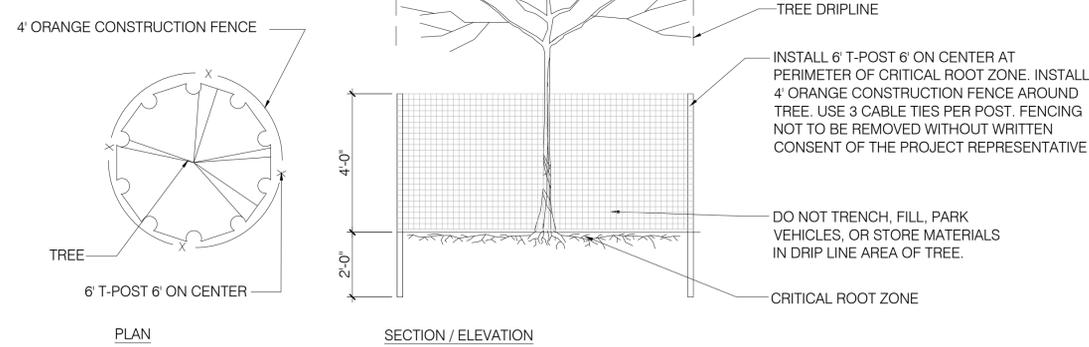
REVISIONS		
NO.	DESCRIPTION	DATE

DESIGNED BY: TM,WC	DATE: 7/20/23
DRAWN BY: TM,WC	SCALE: 1"=30'
CHECKED BY: BV	
JOB NO.: 301.001.01	
DWG NAME: LP-500-PLANTING DETAILS.dwg	

PLANTING DETAILS

SHEET: **L4.0**

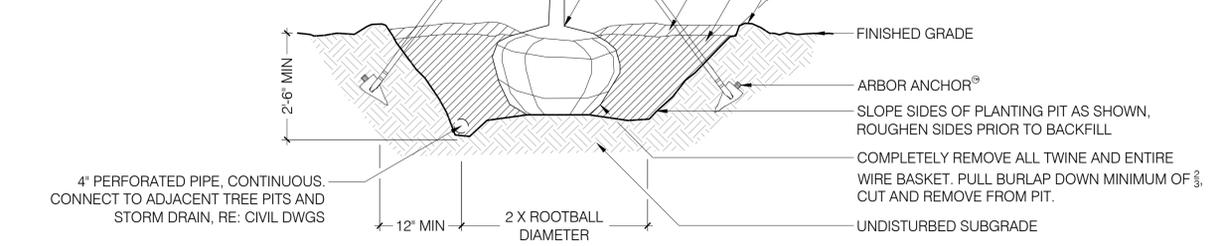
- NOTES:
1. ATTACH "TREE PROTECTION AREA" SIGNS TO FENCING EVERY 50'
 2. THE TREE PROTECTION AREA SHALL NOT BE MODIFIED OR REMOVED PRIOR TO CONSENT OF THE OWNER'S REPRESENTATIVE
 3. MATERIALS, DEBRIS, EQUIPMENT, AND SITE AMENITIES SHALL NOT BE STORED WITHIN THE TREE PROTECTION AREA
 4. ENTRANCE TO THE TREE PROTECTION AREA IS NOT PERMITTED WITHOUT CONSENT OF THE OWNER'S REPRESENTATIVE



1 TREE PROTECTION

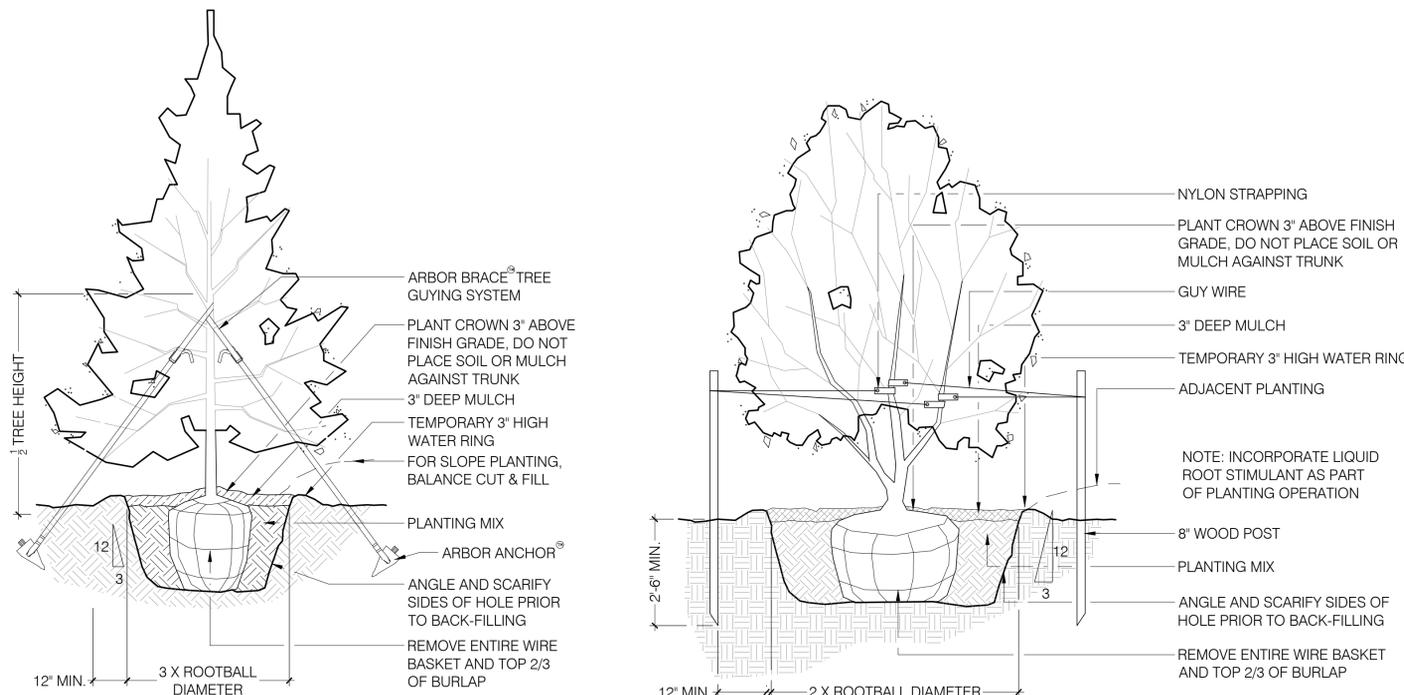
NOT TO SCALE

- NOTES:
1. DO NOT CUT SINGLE LEADER. PRUNE ONLY DAMAGED, DEAD WOOD, OR CO-DOMINANT LEADERS AT CITY FORESTER'S DIRECTION. ANY BROKEN, CRUMBLING OR OTHERWISE DAMAGED ROOTBALL WILL BE REJECTED. DAMAGE DURING PLANTING OPERATIONS WILL NOT BE EXCUSSED.
 2. FOR FALL PLANTING OF DECIDUOUS TREES: WRAP TRUNK TO FIRST BRANCH WITH SPECIFIED TREE WRAP MATERIAL. SECURE AT TOP WITH MASKING TAPE. DO NOT WRAP ROUGH BARK, POPULUS, OR GLEDITSIA TREES. REMOVE IN SPRING AS SPECIFIED.



2 DECIDUOUS TREE PLANTING

1/2" = 1'-0"

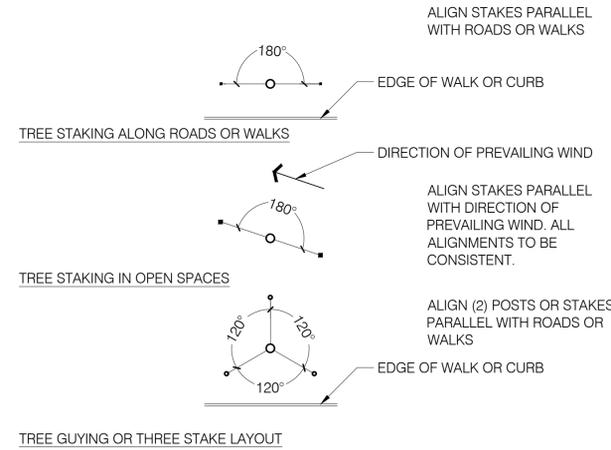


3 CONIFEROUS TREE PLANTING

1/2" = 1'-0"

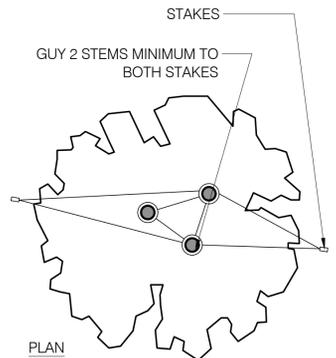
4 MULTI-STEM TREE PLANTING

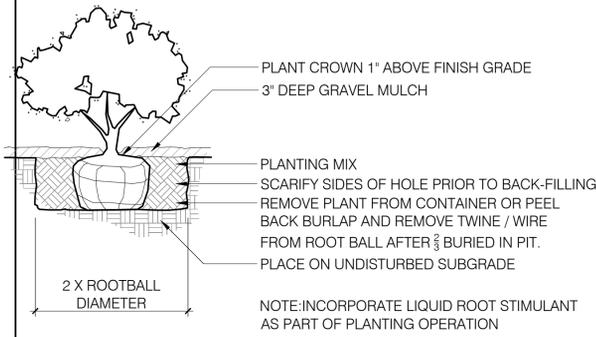
1/2" = 1'-0"



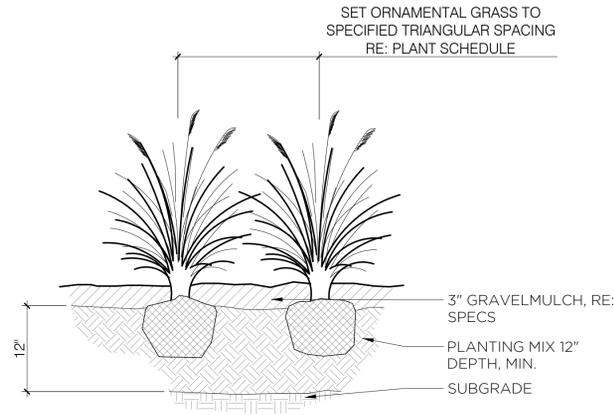
5 TREE STAKING AND GUYING

3/16" = 1'-0"

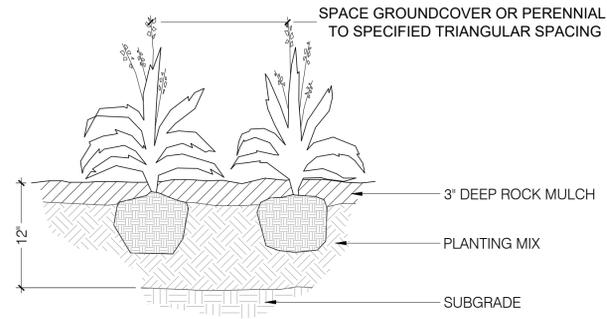




1 SHRUB PLANTING
1/2" = 1'-0"

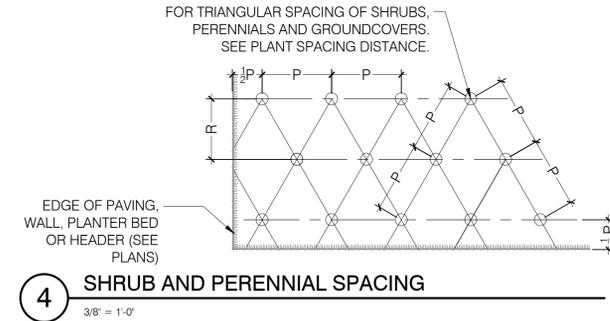


2 ORNAMENTAL GRASS PLANTING
1" = 1'-0"



3 GROUNDCOVER AND PERENNIAL PLANTING
1" = 1'-0"

P TRIANGULAR	R ROW	AREA PER PLANT SQ.FT.
4"	3 1/16"	.096
6"	5 1/4"	.22
8"	7"	.385
10"	8 3/4"	.60
12"	10 3/8"	.87
18"	1'-3 3/8"	1.95
24"	1'-8 3/4"	3.46
30"	2'-2"	5.42
3'	2'-7"	7.80
4'	3'-5 1/2"	13.84
5'	4'-4"	21.65
6'	5'-2 3/8"	31.20



REVISIONS		
NO.	DESCRIPTION	DATE

DESIGNED BY: TM,WC DATE: 7/20/23
DRAWN BY: TM,WC SCALE: 1"=30'
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DWG NAME: LP-500-PLANTING DETAILS.dwg

PLANTING DETAILS

SHEET:
L4.1



RC SUPERIOR
3080 VALLEY CENTER DRIVE
SUITE 705 PMB 381
SAN DIEGO, CA 92130

DOWNTOWN SUPERIOR
FINAL DEVELOPEMENT PLAN 1 - PHASE 12

IRRIGATION SCHEDULE - METRO				
SYMBOL	MANUFACTURER	MODEL NO.	DESCRIPTION	DETAIL NO.
	RAIN BIRD	RD-12-SAM-P30-NP W/ MATCHED PRECIP SERIES NOZZLE	HI-POPUP SPRAY HEAD	9
	RAIN BIRD	PESB-R W/ SB-DAG-1	ELECTRIC CONTROL VALVE W/ DECODER	6 & 7
	RAIN BIRD	44-NP	QUICK COUPLING VALVE	4
N/S	MATCO	201X	MANUAL DRAIN VALVE	5
		LINE SIZE - 2 1/2" & SMALLER	GATE VALVE W/ SQUARE NUT	3
		CLASS 200 BE - 2 1/2" & SMALLER	PVC MAINLINE -PURPLE	1
		CLASS 200 BE	PVC LATERAL -PURPLE	1
		CLASS 160	PVC SLEEVING	2
	TORO	BLUE STRIPE (NON-POTABLE)	POLY DRIP TUBING -3/4" MIN. WIDTH	12
	RAIN BIRD	XGZ-100-PRF-R W/ SB-DAG-1	DRIP VALVE ASSEMBLY W/ DECODER	10 & 7
			DRIP LINE BLOW-OUT STUB	11
N/S	RAIN BIRD	XERI-BUG	DRIP EMITTERS	12
	TORO	SB-BLA	SURGE PROTECTION	8
N/S	PAIGE	PT350D	2-WIRE DECODER CABLE	N/S
			WIRE SPLICE	13
			CONTROLLER & STATION NO.	
			CONTROL VALVE SIZE	

Reclaimed Water Notes

THE OWNER/DEVELOPER, THEIR SUCCESSORS AND ASSIGNS, AGREE TO PERFORM THE FOLLOWING CONDITIONS RECLAIMED WATER CONDITIONS:

- THIS SITE WILL USE RECLAIMED WATER FOR IRRIGATION.
- THE OWNER/DEVELOPER IS RESPONSIBLE FOR DESIGNING, BUILDING, OPERATING AND MAINTAINING THE RECLAIMED FACILITIES AT THIS SITE IN COMPLIANCE WITH; THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT'S RECLAIMED WATER CONTROL REGULATION NO. 84.
- APPROVED SIGNS SHALL BE POSTED ON THE SITE TO NOTIFY THE PUBLIC THAT RECLAIMED WATER WILL BE USED FOR IRRIGATION AND IS NOT SAFE TO DRINK.
- ALL PIPING INCLUDING PRIVATE IRRIGATION SYSTEM PIPING SHALL BE PURPLE (PANTONE PURPLE 522C) TO DIFFERENTIATE RECLAIMED WATER PIPING FROM POTABLE WATER OR OTHER PIPING SYSTEMS. ALL IRRIGATION BOXES AND COVERS, CONTROL VALVES, SPRINKLER HEADS AND OTHER APPURTENANCES ASSOCIATED WITH THE RECLAIMED WATER SYSTEM SHALL BE PURPLE AND LABELED 'RECLAIMED' OR 'NON-POTABLE' WATER. RECLAIMED METERS SHALL BE PURPLE, HAVE PURPLE REGISTERS AND BE STAMPED 'RECLAIM' ON THE MAIN CASE.
- RECLAIMED WATER HAS A HIGHER LEVEL OF DISSOLVED SOLIDS THAN POTABLE WATER. PLANTS TOLERANT OF HIGH SALINITY SHOULD BE SELECTED FOR USE IN AREAS IRRIGATED WITH, OR THAT MAY POTENTIALLY BE SUPPLIED WITH RECLAIMED WATER. IF PLANT MATERIALS WITH LOWER TOLERANCES ARE USED, THE DEVELOPER SHALL TAKE THOSE STEPS NECESSARY TO PREVENT SALT BUILD-UP IN THE SOIL SURROUNDING THESE PLANTS. PLANTING LOCATIONS, FOR SALT SENSITIVE SPECIES SHOULD HAVE GOOD DRAINAGE AND SOIL PERCOLATION.

IRRIGATION CONSTRUCTION NOTES

- DRAWINGS AND BASE INFORMATION - ALL BASE AND PLANTING INFORMATION HAVE BEEN PROVIDED BY DIG STUDIO. THE CONTRACTOR IS RESPONSIBLE TO NOTIFY HYDROSYSTEMS*KDI OF ANY DISCREPANCIES BETWEEN THE UTILITY OR PLANTING PLANS AND THE IRRIGATION PLAN. IF CONTRACTOR FAILS TO NOTIFY HYDROSYSTEMS*KDI AND MAKES CHANGES TO THE IRRIGATION SYSTEM DESIGN, HE ASSUMES ALL COSTS AND LIABILITIES ASSOCIATED WITH THOSE FIELD CHANGES. REFER TO SPECIFICATIONS FOR ADDITIONAL PROJECT REQUIREMENTS.
- SYSTEM PRESSURE - HYDROSYSTEMS*KDI HAS CONTACTED THE LOCAL WATER DISTRICT THAT SERVES THIS SITE AND THEY HAVE BEEN TOLD THAT THE STATIC WATER PRESSURE IN THIS AREA SHOULD BE 60 PSI. THE CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY PRESSURE PRIOR TO COMMENCING ANY CONSTRUCTION AND NOTIFY HYDROSYSTEMS*KDI OF ANY VARIANCE FROM THE STATED PRESSURE IMMEDIATELY. WRITTEN DOCUMENTATION OF PRESSURE TEST AND RESULTS SHALL BE PROVIDED TO HYDROSYSTEMS*KDI AT CONSTRUCTION ONSET. IF CONTRACTOR FAILS TO FIELD VERIFY PRESSURE AND/OR NOTIFY HYDROSYSTEMS*KDI OR ANY VARIATIONS FROM THIS PRESSURE, THEN HE ASSUMES ALL CONSTRUCTION AND ENGINEERING COSTS ASSOCIATED WITH SYSTEM MODIFICATIONS REQUIRED TO ACCOMMODATE ACTUAL SITE PRESSURE. THIS SYSTEM HAS BEEN DESIGNED FOR A REQUIRED STATIC PRESSURE OF 60 PSI MINIMUM AND A BOOSTER PUMP WILL BE REQUIRED.
- NON-POTABLE WATER SOURCE - THIS SITE HAS BEEN DESIGNED TO BE IRRIGATED WITH NON-POTABLE WATER. ALL CAPS ON HEADS, VALVE HANDLES, VALVE BOX LIDS SHALL BE CONSTRUCTED OF PURPLE MATERIALS AND LABELED TO INDICATE NON-POTABLE WATER SUPPLY. ALL MAINLINE AND LATERAL PIPING SHALL BE PURPLE IF REQUIRED BY THE SUPPLYING UTILITY (REMOVE IF NOT DENVER/WESTMINSTER). THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING SIGNS NOTIFYING THE PUBLIC OF THE USE OF NON-POTABLE WATER ON THIS SITE. SEE STATE REGULATIONS FOR CONTENT AND SIZE OF NOTIFICATION SIGNS. INSTALLATION CREWS ARE TO BE INFORMED OF THE USE OF NON-POTABLE WATER.
- IRRIGATION SYSTEM OPERATION INTENT - THIS IRRIGATION SYSTEM HAS BEEN DESIGNED TO IRRIGATE THE ESTABLISHED LANDSCAPE WITHIN A SIX NIGHT PER WEEK, SIX HOUR PER NIGHT WATERING WINDOW. ESTABLISHMENT WATERING WILL REQUIRE UP TO TWICE AS MUCH IRRIGATION FOR A FOUR TO SIX WEEK PERIOD. THE DESIGN IS BASED ON THE FOLLOWING PROJECTED WEEKLY APPLICATION RATES AFTER ESTABLISHMENT. THESE FIGURES ARE BASED ON A 30-YEAR AVERAGE WEATHER DATA AND WILL NEED TO BE ADJUSTED DUE TO SEASONAL CHANGES AND WEATHER CONDITIONS ABOVE AND BELOW THE AVERAGE VALUES UTILIZED.

BLUEGRASS TURF	2.05" PER WEEK PEAK SEASON
ORNAMENTAL PLANTINGS	0.74" PER WEEK PEAK SEASON
NATIVE SEED MIXES	0.95" PER WEEK PEAK SEASON (TWO SEASONS)

NOTE: IT IS THE INTENT OF THIS DESIGN THAT NATIVE AREAS WOULD ONLY BE IRRIGATED FOR ESTABLISHMENT.
- EQUIPMENT INSTALLATION - IT IS THE INTENT OF THIS DESIGN THAT ALL IRRIGATION EQUIPMENT BE INSTALLED WITHIN PROPERTY LIMITS AND WITHIN LANDSCAPED AREAS. ANY EQUIPMENT OTHER THAN VALVE BOXES OR SLEEVING THAT CONTAINS PIPE OR WIRES SHOWN OUTSIDE OF THESE LIMITS IS SHOWN IN THAT LOCATION FOR GRAPHICAL CLARITY ONLY. ALL VALVE BOXES SHALL BE INSTALLED A MINIMUM OF 2'-0" FROM EDGE OF ANY PAVED SURFACES UNLESS INDICATED ON PLANS. ALL VALVE BOXES SHALL BE PLACED A MINIMUM OF 3'-0" FROM THE CENTERLINE OF ANY DRAINAGE SWALE. ALL VALVE BOXES WITHIN PAVEMENT SHALL BE TIER 15 RATED BOXES FOR HEAVY DUTY NON-DELIBERATE TRAFFIC. BOX LID COLOR SHALL MATCH ADJACENT MATERIALS, I.E. GREEN IN TURF, TAN IN WOOD MULCH, GREY IN STONE MULCH, PURPLE FOR RECLAIMED WATER SYSTEMS (IF REQUIRED). REFER TO LANDSCAPE PLANS FOR MATERIAL COLORS AND TYPES. ALL VALVE BOXES SHOULD BE BRANDED, AS CALLED OUT IN SPECIFICATIONS AND PER NOTES ON DETAILS.
- MANUAL DRAIN VALVES - CONTRACTOR TO INSTALL ONE MANUAL DRAIN VALVE ON PRESSURE SUPPLY LINE DIRECTLY DOWNSTREAM OF BACKFLOW PREVENTER AND AT ALL LOW POINTS AND DEAD ENDS OF PRESSURE SUPPLY PIPING TO INSURE COMPLETE DRAINAGE OF SYSTEM. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THESE LOCATIONS IN-FIELD AND INSTALLATION LOCATIONS SHALL BE NOTED ON AS-BUILTS.
- POP-UP SPRAY NOZZLES - CONTRACTOR TO INSTALL PLASTIC NOZZLES ON ALL POP-UP SPRAY HEADS. INSTALL 15 SERIES NOZZLES ON ALL HEADS SPACED AT 12' TO 14'. INSTALL 12 SERIES NOZZLES ON ALL HEADS SPACED 10' TO 11'. INSTALL 10 SERIES NOZZLES ON ALL HEADS SPACED AT 8' TO 9'. INSTALL 8 SERIES NOZZLES ON ALL HEADS SPACED AT 6' TO 7'. INSTALL 5' NOZZLES ON ALL HEADS SPACED AT 5'. INSTALL SIDE STRIP NOZZLES ON ALL HEADS WITH AN 'S' DESIGNATION AND RIGHT AND LEFT CORNER STRIP NOZZLES ON ALL HEADS WITH AN 'L' OR 'R' DESIGNATION. VARIABLE ARC NOZZLES SHOULD BE UTILIZED ADJACENT TO CURVILINEAR SHRUB BEDS OR FOR ANY ANGLES THAT ARE NOT A STANDARD NOZZLE ANGLE. WHERE INDICATED, INSTALL LOW FLOW SQ SERIES SQUARE NOZZLES AT SPACING SHOWN.
- DRIP IRRIGATION - REFER TO IRRIGATION DETAIL SHEET FOR DRIP EMITTER QUANTITIES AND PLACEMENT.
- UNLABELED PIPING - ALL UNLABELED LATERAL PIPING SHALL BE 1" MINIMUM UNLESS OTHERWISE NOTED.
- SLEEVING - ALL SLEEVING UNDER PAVED SURFACES SHOWN ON PLANS IS BY CONTRACTOR UNLESS OTHERWISE NOTED. SLEEVING SHALL BE INSTALLED IN THE SIZES AND QUANTITIES SHOWN ON PLANS OR BASED ON THE SCHEDULE BELOW. WHERE SLEEVES ARE SHOWN, BUT NOT LABELED, FOLLOW THE SCHEDULE BELOW. ALL MAINLINE CONTROL WIRES AND DRIP LINES UNDER PAVED SURFACES ARE TO BE INSTALLED IN SLEEVING. ALL MAINLINE SLEEVE LOCATIONS TO INCLUDE A SEPARATE WIRE SLEEVE. ALL SLEEVE LOCATIONS WILL NEED TO BE MARKED WITH AN "X" ON THE THE CONCRETE AND PAVEMENT AT BOTH ENDS OF THE SLEEVE.

SLEEVE PIPE SIZE/WIRE QUANTITY	REQUIRED SLEEVE SIZE & (QUANTITY)
3/4" - 1 1/4" PIPING	2" PVC (1)
1 1/2" - 2" PIPING	4" PVC (1)
1-50 CONTROL WIRES	3" PVC (1)
- SPARE CONTROL WIRES - CONTRACTOR SHALL EXTEND THREE SPARE WIRES (ONE COMMON AND 2 CONTROL WIRES) FROM EACH CONTROLLER TO THE END OF THE MAINLINE SERVING THAT CONTROLLER OR AS SHOWN ON THE PLANS. INSTALL SPARE WIRES IN 10" ROUND VALVE BOX WITH QUICK COUPLING VALVE. REFER TO SPECIFICATIONS FOR WIRE COLOR. SEE IRRIGATION SCHEDULE FOR ADDITIONAL INFORMATION.
- ADJUSTMENT - CONTRACTOR SHALL FINE TUNE/ADJUST THE IRRIGATION SYSTEM TO REDUCE/AVOID OVERSPRAY ONTO HARD SURFACES BY ADJUSTING NOZZLE DIRECTION AND NOZZLE RADIUS.
- ADJUSTMENT - CONTRACTOR SHALL FINE TUNE/ADJUST THE IRRIGATION SYSTEM TO REDUCE/AVOID OVERSPRAY ONTO HARD SURFACES BY ADJUSTING NOZZLE DIRECTION AND NOZZLE RADIUS.
- 2-WIRE SYSTEM NOTES - CONTRACTOR SHALL INSTALL ALL TWO-WIRE COMPONENTS PER MANUFACTURES RECOMMENDATIONS AND STANDARDS.
 - CONTRACTOR SHALL USE ONLY MANUFACTURED 2-WIRE DECODER CABLE (SEE SCHEDULE FOR SPECIFIC 2-WIRE CABLE).
 - USE DIFFERENT COLOR 2-WIRE DECODER CABLE FOR EACH CONTROLLER.
 - ONLY USE SINGLE STATION DECODERS (SEE SCHEDULE FOR SPECIFIC MODEL).
 - ONLY USE SENSOR DECODER FOR FLOW SENSOR (SEE SCHEDULE FOR SPECIFIC MODEL) IF INDICATED ON PLANS.
 - LOOP 5' OF 2-WIRE DECODER CABLE INTO ALL VALVE BOXES (WITH DECODERS AND SPLICES) FOR MAINTENANCE.
 - USE ONLY 5M DIER-6 WATERPROOF CONNECTORS ON ALL WIRE SPLICES AND ALL WIRE SPLICES ARE TO BE MADE WITHIN A VALVE BOX WITH CONTROL VALVES OR A SEPARATE 10" ROUND VALVE BOX FOR WIRE SPLICES.
 - INSTALL SURGE PROTECTOR RODS OR PLATES 8 LF. FROM VALVES, DECODERS, AND COMMUNICATION WIRE.
 - GROUND ALL DECODERS AND DECODER WIRE A MINIMUM OF EVERY 1000' OF WIRE OR EVERY 12TH DECODER AND AT ALL ENDS OF 2-WIRE DECODER CABLE RUN.
 - LOOP EXTRA 10' OF 2-WIRE DECODER CABLE INTO A VALVE BOX AT PHASING LINES FOR FUTURE CONNECTION (IF INDICATED ON PLANS).
 - EACH DECODER TO BE LABELED WITH ZONE NUMBER.
- SIMULTANEOUS ZONE OPERATION - THIS IRRIGATION SYSTEM HAS BEEN DESIGNED TO OPERATE MULTIPLE ZONES SIMULTANEOUSLY BASED ON INDIVIDUAL ZONE FLOW. THE DESIGN IS INTENDED TO OPERATE MULTIPLE VALVES, UP TO THE MAXIMUM FLOW IN THE POINT OF CONNECTION NOTE. REFER TO CONTROLLER SPECIFICATION FOR MAXIMUM SIMULTANEOUS VALVE COUNT.
- EXISTING IRRIGATION DAMAGE - CONTRACTOR SHALL REPAIR OR REPLACE ANY EXISTING IRRIGATION SYSTEMS DAMAGED DURING NEW INSTALLATION. REPAIR OR REPLACEMENT SHALL BE DETERMINED BY OWNER OR OWNER'S REPRESENTATIVE AND PAID FOR BY THE LANDSCAPE CONTRACTOR.
- EXISTING IRRIGATION COORDINATION - EXISTING IRRIGATION SYSTEM SHALL NOT BE TURNED OFF FOR MORE THAN 24 HOURS MAXIMUM. CONTRACTOR SHALL COORDINATE TURN OFF OF SYSTEM WITH OWNER OR MAINTENANCE STAFF 72 HOURS PRIOR TO ANY NEW CONSTRUCTION.

REFER TO SHEET

- IR3.0 IRRIGATION NOTES & SCHEDULE
 IR3.1 IRRIGATION PLAN
 IR3.2 - IR3.3 IRRIGATION DETAILS



Know what's below.
Call before you dig.
CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.



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13949 W. Colfax Ave, Suite 260 Lakewood, Colorado 80401
o: 303.980.5327 www.hydrosystemsksdi.com



IRRIGATION NOTES & SCHEDULE

SHEET:

IR3.0

EXISTING "ROW" IRRIGATION DAMAGE - CONTRACTOR SHALL REPAIR OR REPLACE ANY EXISTING IRRIGATION SYSTEMS DAMAGED DURING NEW INSTALLATION. REPAIR OR REPLACEMENT SHALL BE DETERMINED BY OWNER OR OWNER'S REPRESENTATIVE AND PAID FOR BY THE LANDSCAPE CONTRACTOR.

CONTRACTOR TO LOCATE EXISTING 2" MAINLINE AND 2-WIRE CABLE, AT THESE APPROXIMATE LOCATIONS (ROW-METRO SYSTEM). CONNECT TO 2" PVC MAINLINE AND 2-WIRE CABLE AND EXTEND, AS SHOWN. ALL NEW CONTROL VALVES AND DECODERS TO BE PROGRAMMED INTO METRO CONTROLLER "B".

CONTRACTOR TO LOCATE EXISTING 2" MAINLINE AND 2-WIRE CABLE, AT THESE APPROXIMATE LOCATIONS (ROW-METRO SYSTEM). CONNECT TO 2" PVC MAINLINE AND 2-WIRE CABLE AND EXTEND, AS SHOWN. ALL NEW CONTROL VALVES AND DECODERS TO BE PROGRAMMED INTO METRO CONTROLLER "A".

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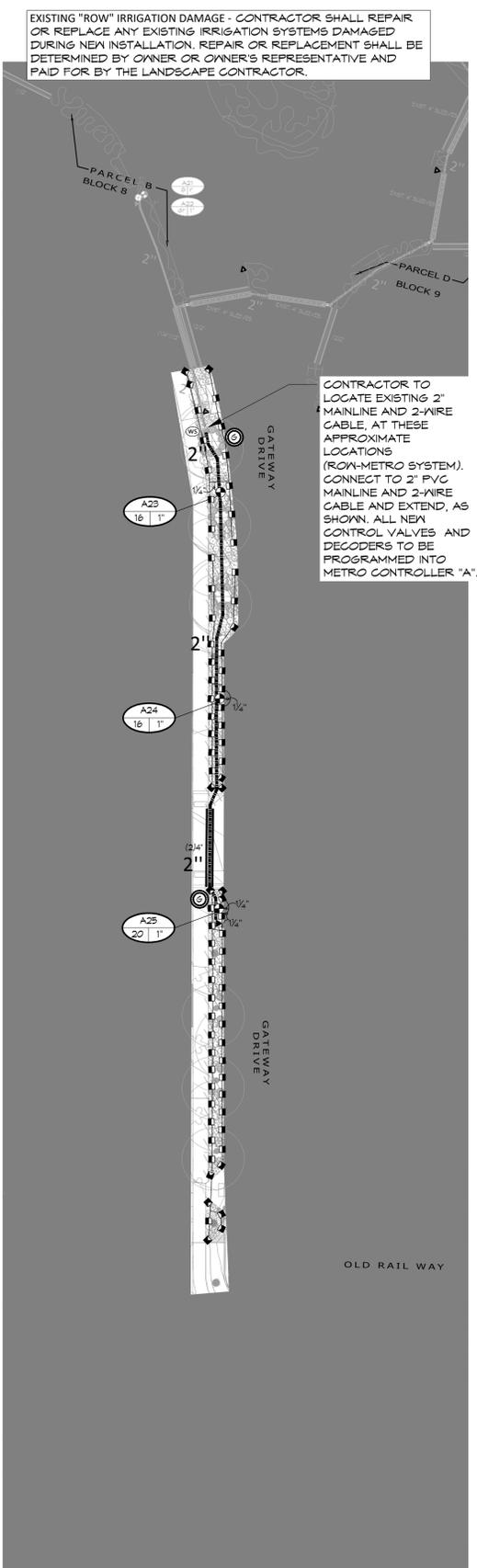
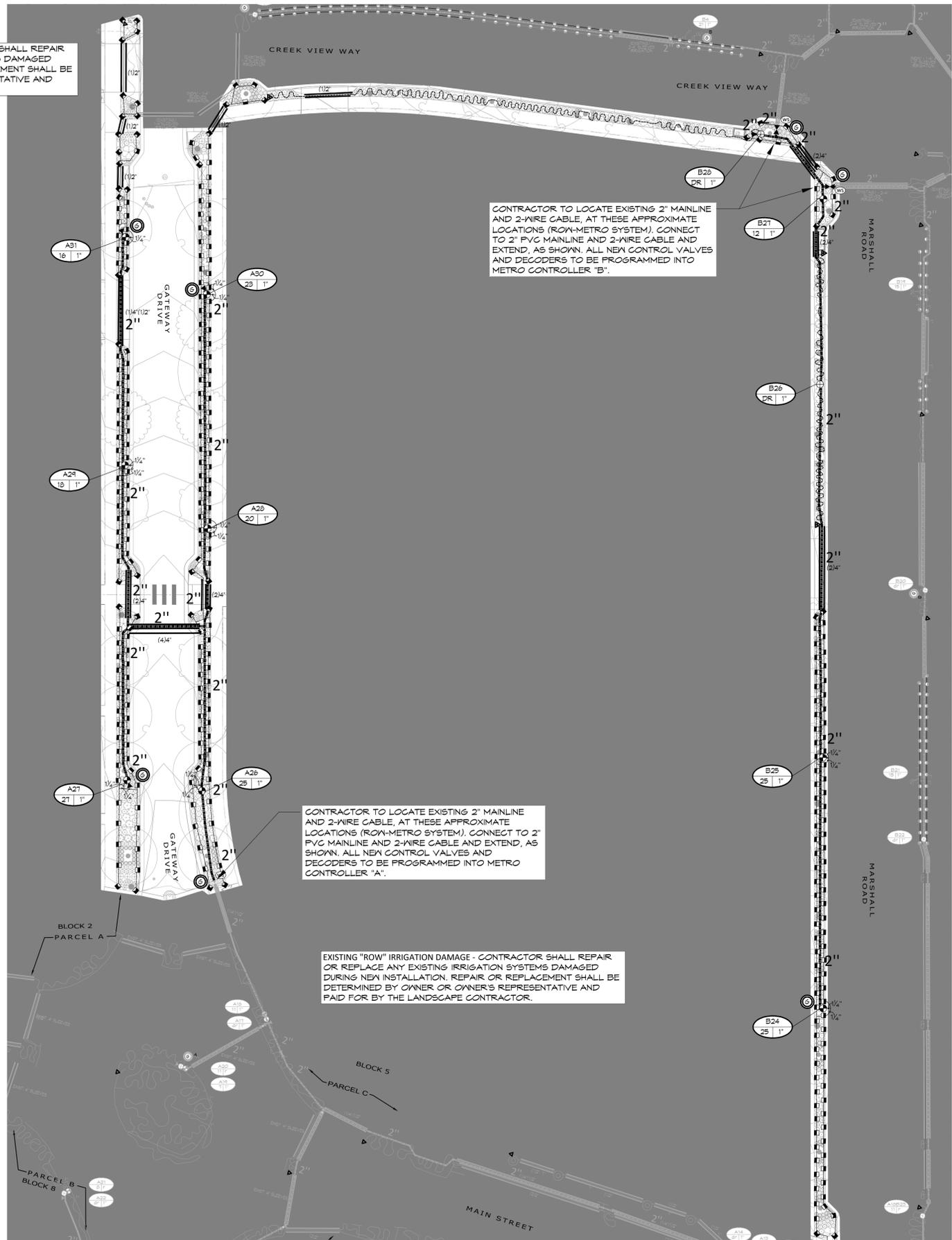
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REFER TO SHEET
 IR3.0 IRRIGATION NOTES & SCHEDULE
 IR3.1 IRRIGATION PLAN
 IR3.2 - IR3.3 IRRIGATION DETAILS



Know what's below.
 Call before you dig.
 CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG. GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.



1 IRRIGATION PLAN
 1" = 30'-0"

NORTH
 0 15' 30' 60'
 SCALE: 1" = 30'-0"

2 IRRIGATION PLAN
 1" = 30'-0"

NORTH
 0 15' 30' 60'
 SCALE: 1" = 30'-0"



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RC SUPERIOR
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DOWNTOWN SUPERIOR
 FINAL DEVELOPMENT PLAN 1 - PHASE 12

REVISIONS		
NO.	DESCRIPTION	DATE
1	FINAL DEVELOPMENT PLAN	7/20/23
2	RESPONSE TO STAFF	9/29/23
COMMENTS		

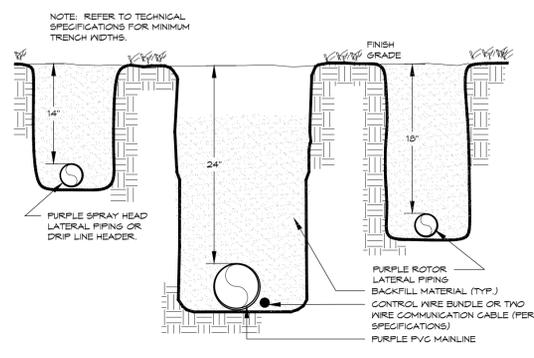
Vested Rights:
 This Plan constitutes a Site Specific Development Plan as defined in Section 24-68-101, et seq., C.R.S., and Chapter 16 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Coal Creek Drive, Superior, Colorado. The term and other conditions of these vested rights are further described in the development agreement dated March 11, 2013.

DESIGNED BY: KJD DATE: 7/20/23
 DRAWN BY: KJD SCALE:
 CHECKED BY: JSB
 JOB NO.: 301.001.01
 DWG NAME:

IRRIGATION PLAN

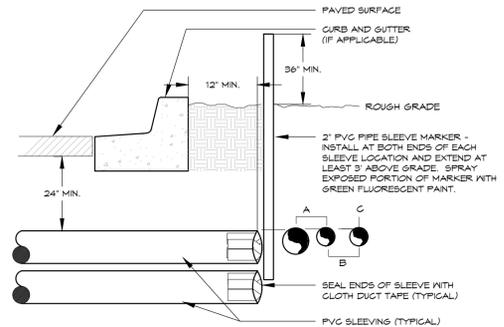
SHEET:
 IR3.1

PLOT DATE: 3/14/23 10:07:58 J:\dcm\100-Blocks 2 & 5 ROW-CD-rev2.dwg



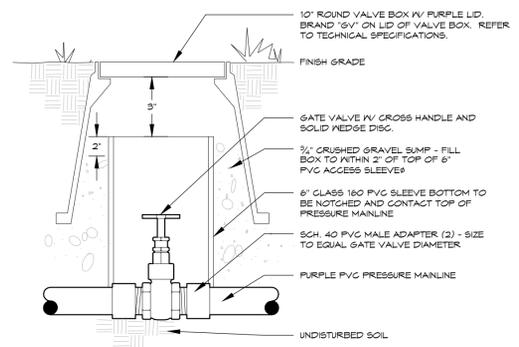
TRENCH

1



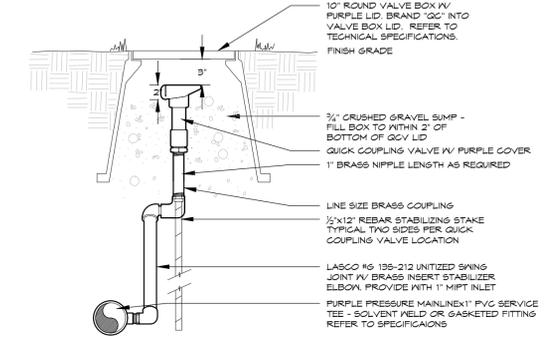
IRRIGATION SLEEVING

2



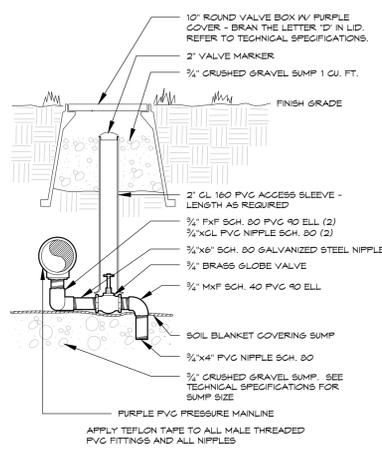
GATE VALVE

3



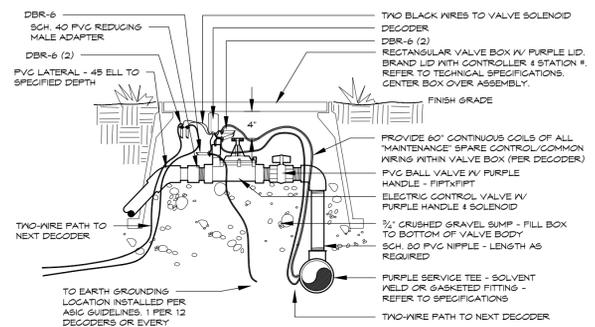
QUICK COUPLING VALVE

4



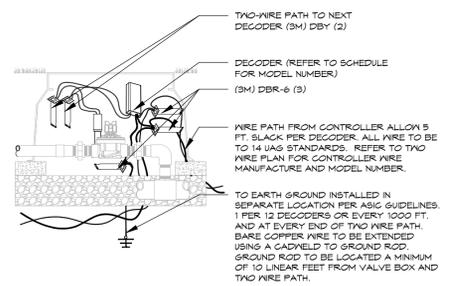
MANUAL DRAIN VALVE

5



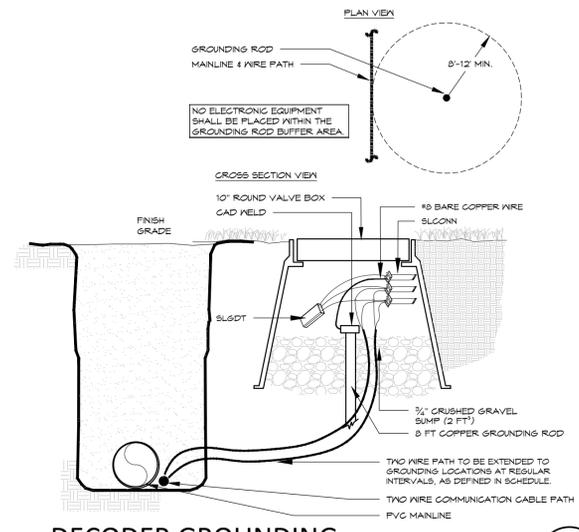
ELECTRIC CONTROL VALVE
TWO WIRE SYSTEM

6



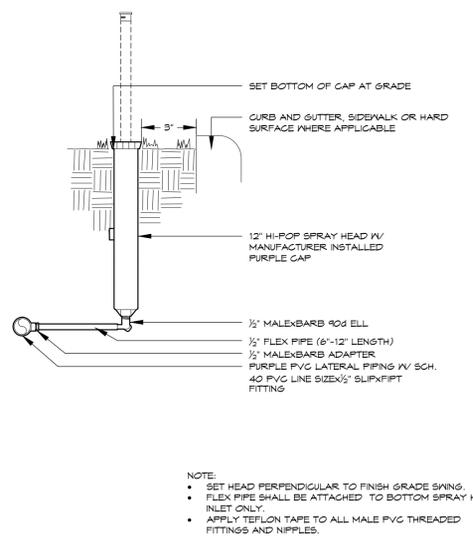
2-WIRE DECODER
WIRING DIAGRAM

7



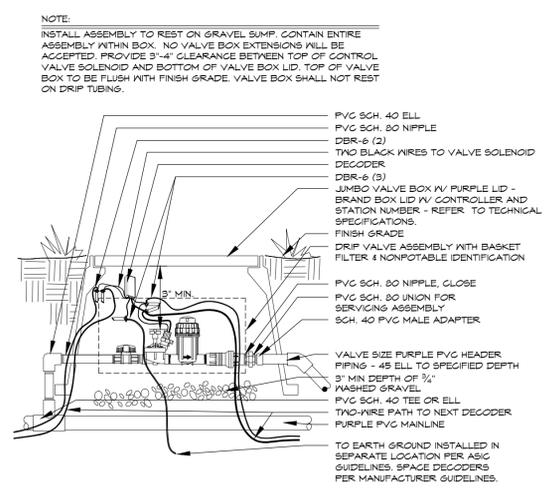
DECODER GROUNDING
VIA GROUNDING ROD

8



HI-POP SPRAY HEAD
SWING PIPE - PURPLE PVC

9



DRIP VALVE
TWO-WIRE SYSTEM - BASKET - PURPLE PVC
PIPE

10

REFER TO SHEET
IR3.0 IRRIGATION NOTES & SCHEDULE
IR3.1 IRRIGATION PLAN
IR3.2 - IR3.3 IRRIGATION DETAILS



Know what's below.
Call before you dig.
CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.



Irrigation Consulting & Water Management
13949 W. Colfax Ave, Suite 260
o: 303.980.5327



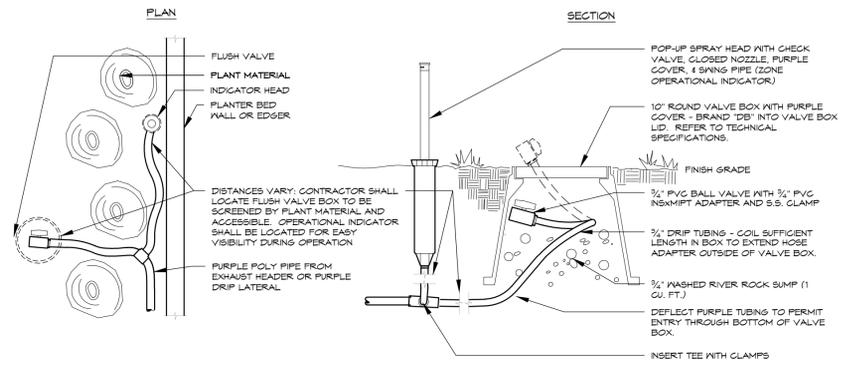
REVISIONS		
NO.	DESCRIPTION	DATE
1	FINAL DEVELOPMENT PLAN	7/20/23
2	RESPONSE TO STAFF	9/29/23
COMMENTS		

Vested Rights:
This Plan constitutes a Site Specific Development Plan as defined in Section 24-68-101, et seq., C.R.S., and Chapter 16 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Coal Creek Drive, Superior, Colorado. The term and other conditions of these vested rights are further described in the development agreement dated March 11, 2013.

DESIGNED BY: KJD	DATE: 7/20/23
DRAWN BY: KJD	SCALE:
CHECKED BY: JSB	
JOB NO.: 301.001.01	
DWG NAME:	

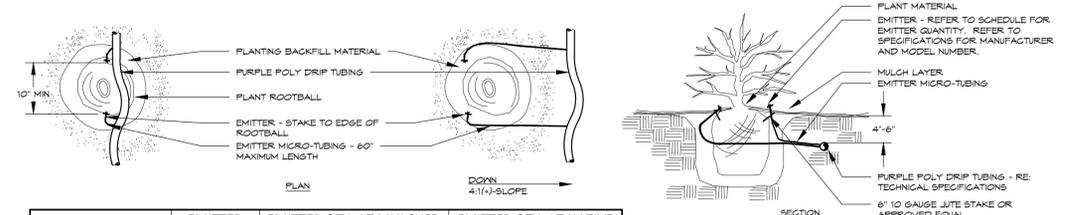
IRRIGATION DETAILS

SHEET:
IR3.2



DRIP FLUSH VALVE

11

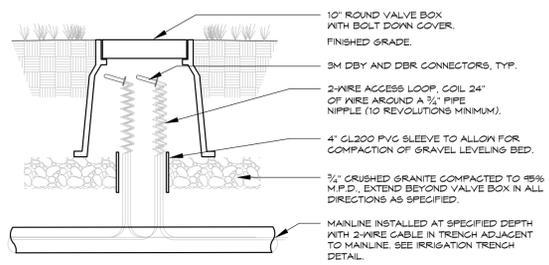


PLANT SIZE	EMITTER FLOW RATE	EMITTER QTY. AT MULCHED BED LOCATIONS	EMITTER QTY. AT NATIVE SEED LOCATIONS
1 - 2 GALLON MATERIAL	0.5 GPH	ONE EACH	ONE EACH
5 GALLON MATERIAL	0.5 GPH	TWO EACH	TWO EACH
1 1/2\"/>			

- NOTES:
- INSTALL EMITTERS ON OPPOSING SIDES OF ROOTBALL. THREE OR MORE EMITTERS SHALL BE EQUALLY SPACED AROUND ROOTBALL.
 - EMITTERS ARE TO BE INSTALLED TO CLEAR SURFACE BY A MINIMUM OF 1" AND A MAXIMUM OF 2".
 - FLUSH ALL LINES THOROUGHLY, INCLUDING EMITTER MICRO-TUBING PRIOR TO EMITTER INSTALLATION.
 - IF PLANTING ON A 4:1 SLOPE OR STEEPER, INSTALL BOTH EMITTERS ON UPHILL SIDE OF ROOTBALL.
 - EMITTERS SHALL BE SELF-FLUSHING, PRESSURE COMPENSATING-TYPE UNLESS NOTED OTHERWISE WITHIN TECHNICAL SPECIFICATIONS.
 - DRIP VALVE ZONES ARE DESIGNED TO ACCOUNT FOR DIFFERENCES IN PLANT REQUIREMENTS (HYDROZONES) AND SUN EXPOSURE.
 - CONTRACTOR SHALL ENSURE HYDROZONES ARE VALVED SEPARATELY AS SHOWN ON PLAN.
 - SITE CONDITIONS MAY DICTATE THAT MULTIPLE SUN EXPOSURES ARE VALVED TOGETHER DURING THE DESIGN PROCESS. CONTRACTOR SHALL ADJUST EMITTER SCHEDULE AS FOLLOWS:
 - EMITTER QUANTITIES SHALL REMAIN THE SAME BUT EMITTER GALLONAGES SHALL BE DOUBLED FOR PLANTS WITH SOUTH AND WEST EXPOSURES.
 - EMITTER QUANTITIES AND GALLONAGE SHALL BE AS SHOWN IN SCHEDULE FOR PLANTS WITH NORTH AND EAST EXPOSURES.
 - PLANTINGS WITH NORTH AND EAST EXPOSURE SHALL DICTATE VALVE RUN-TIMS AND CONTRACTOR SHALL ADJUST SCHEDULING ACCORDINGLY.

**DRIP EMITTER
BELOW GRADE - PURPLE PIPE**

12



- NOTE:
- SET TOP OF BOX LEVEL WITH FINISHED GRADE IN TURF AREAS AND LEVEL WITH TOP OF MULCH IN SHRUB BEDS.
 - USE STANDARD RECTANGULAR VALVE BOX WITH BOLT DOWN LID FOR SPLICES OF MORE THAN TWENTY (20) WIRES.

**WIRE SPLICE BOX
TWO-WIRE SYSTEM**

13

REFER TO SHEET
 IR3.0 IRRIGATION NOTES & SCHEDULE
 IR3.1 IRRIGATION PLAN
 IR3.2 - IR3.3 IRRIGATION DETAILS



1521 15TH STREET
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RC SUPERIOR
3080 VALLEY CENTER DRIVE
SUITE 705 PMB 381
SAN DIEGO, CA 92130

DOWNTOWN SUPERIOR
FINAL DEVELOPEMENT PLAN 1 - PHASE 12

REVISIONS		
NO.	DESCRIPTION	DATE
1	FINAL DEVELOPEMENT PLAN	7/20/23
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 DRAWN BY: KJD SCALE:
 CHECKED BY: JSB
 JOB NO.: 301.001.01
 DWG NAME:

IRRIGATION DETAILS

SHEET:
IR3.3



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Irrigation Consulting & Water Management
13949 W. Colfax Ave, Suite 260 Lakewood, Colorado 80401
o: 303.980.5327 www.hydrosystemsksi.com